

ZIMMER SITE DATA TABLE

USE: HOSPITAL CANCER TREATMENT (NHRMC)
 SITE ADDRESS: 2135 S. 17TH STREET
 MAP ID #: 312807.57/873.000
 PARCEL AREA: 50.38 AC
 PROJECT AREA: 1.54 AC (67,055 SF)
 CAMA LAND USE: URBAN OFFICE AND INSTITUTIONAL
 BUILDING SETBACKS: (REQUIRED)
 FRONT SETBACK: 20'
 CORNER SIDE SETBACK: 10'
 REAR SETBACKS: 20'

BUILDING SETBACKS:
 INTERIOR SIDE SETBACK EXIST. BLDG: 88'±
 INTERIOR SIDE SETBACK PROPOSED BLDG: 128'±
 FRONT SETBACK EXIST. BLDG: 122'
 FRONT SETBACK PROPOSED BLDG: 128'±

FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	SUB-TOTAL
Sub-Structure	13,300	13,300	26,600
1st Floor	2,500	5,150	7,650
2nd Floor	25,000	2,250	27,250
3rd Floor	25,000	2,250	27,250
TOTAL	65,800	33,350	99,150

BUILDING EXPANSION AREA: 5,157 SF (FOOT PRINT)
 PERCENT EXPANSION AREA: 15.92%
 EXISTING BUILDING HEIGHT: VARIES 33'-85' (SEE ARCH. PLANS)
 BUILDING EXPANSION HEIGHT: 33'± (SEE ARCH. PLANS)
 EXISTING BUILDING STORIES: 13
 BUILDING EXPANSION STORIES: 13 (PLUS MECHANICAL)
 BUILDING CONSTRUCTION TYPE: 2
 II-B

PARKING REQUIREMENT HOSPITAL: 100 BEDS ANTICIPATED FOR PATIENT USE, 4 PER EACH STAFF SPACE INCLUDING MEDICAL AND SUPPORT STAFF BASED ON THE LARGEST EMPLOYEE SHIFT.
 -NO BEDS IN THIS FACILITY
 -NO NEW EMPLOYEES WITH BUILDING ADDITION
 -EXISTING PARKING REMAINS

IMPERVIOUS AREA: 67,055 SF (1.54 AC)
 EXISTING IMPERVIOUS AREA:
 BUILDING (FOOTPRINT): 32,632 SF
 ASPHALT/CURB AND GUTTER: 14,066 SF
 SIDEWALK/CONCRETE: 6,185 SF
 TOTAL: 52,883 SF
 % PROJECT IMPERVIOUS AREA: 78.85%
 EXISTING IMPERVIOUS AREA REMOVED:
 ASPHALT/CURB & GUTTER: 5,681 SF
 SIDEWALK/CONCRETE: 3,452 SF
 TOTAL: 9,133 SF
 NEW IMPERVIOUS AREA ADDED:
 BUILDING (FOOTPRINT): 5,250 SF
 ASPHALT/CURB & GUTTER: 12,617 SF
 SIDEWALK/CONCRETE: 4,489 SF
 TOTAL ADDED: 11,249 SF
 PROPOSED IMPERVIOUS AREA: 32,632 SF
 EXISTING BUILDING: 5,250 SF
 ASPHALT/CURB & GUTTER: 12,617 SF
 SIDEWALK/CONCRETE: 4,489 SF
 TOTAL: 22,358 SF
 % PROJECT IMPERVIOUS AREA: 33.5%

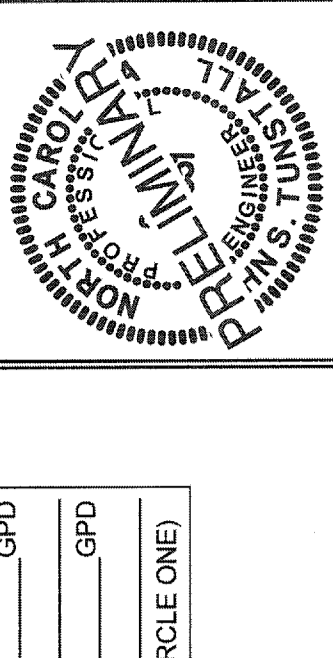
LANDSCAPING REQUIRED:
 100% TREE EXPANSION AREA - 45% INTERIOR LANDSCAPING REQUIRED
 15 TREES PER ACRE DISTURBED
 DISTURBED AREA=0.37 AC = 6 TREES
 SOLID WASTE DISPOSAL IS HANDLED BY ON SITE DUMPSTERS.
 WATER AND SEWER REMAINS UNCHANGED

OVERALL SITE PLAN
ZIMMER CANCER CENTER RENOVATION
 2131 SOUTH 17TH STREET
 WILMINGTON, N. C.

OWNER/DEVELOPER
 NHRMC
 THOMAS WALSH, VP FACILITIES
 AND SUPPORT SERVICES
 WILMINGTON, NC 28402
 910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
 1429 ASH-LITTLE RIVER RD., NW
 WILMINGTON, NC 28401
 PHONE (910) 343-9653
 LICENSE #C-3641

15120
 DES. JST
 C.D. JPN
 DRWN. NKS
 DATE 2/10/16



SCALE: 1" = 100'
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SYMBOL	DATE	DESCRIPTION	BY

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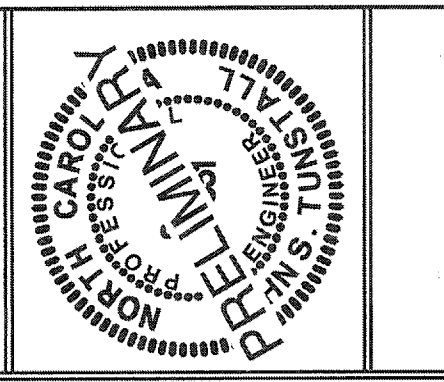
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15120

City of WILMINGTON
Public Services • Engineering Division
STORMWATER MANAGEMENT PLAN

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
Name: _____ Date: _____
Planning _____
Traffic _____
Fire _____
NCDENR PWSS WATER PERMIT # _____ GPD
DWS SEWER PERMIT # _____ GPD
SEWER CAPACITY: _____
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'
0 20 40 60

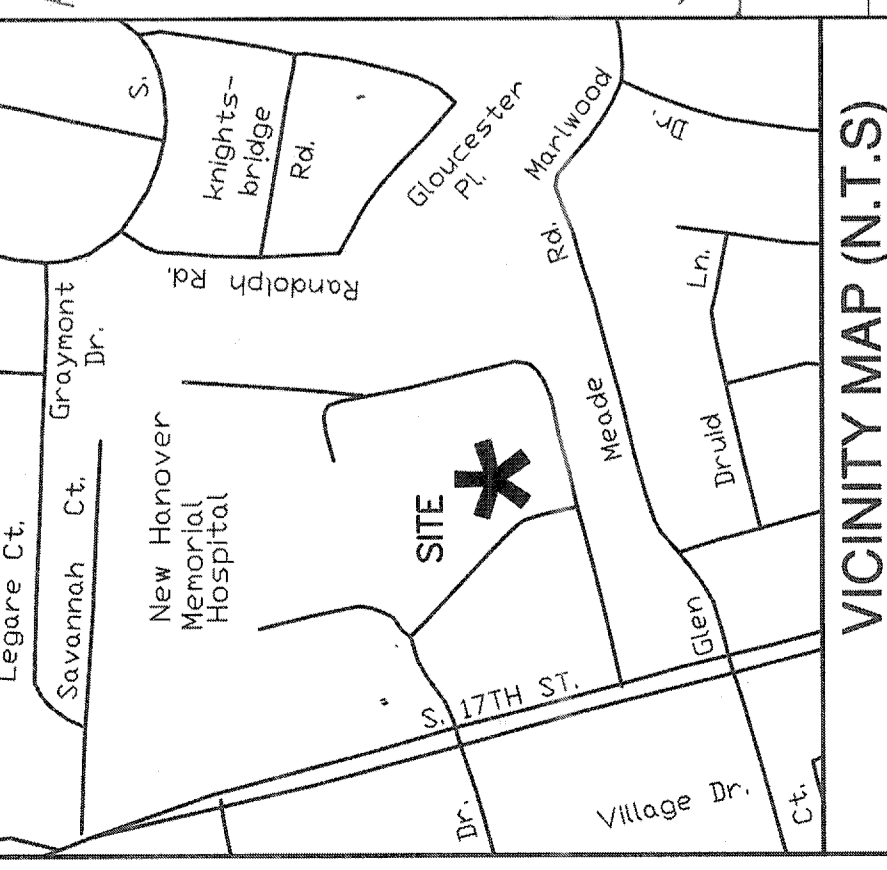
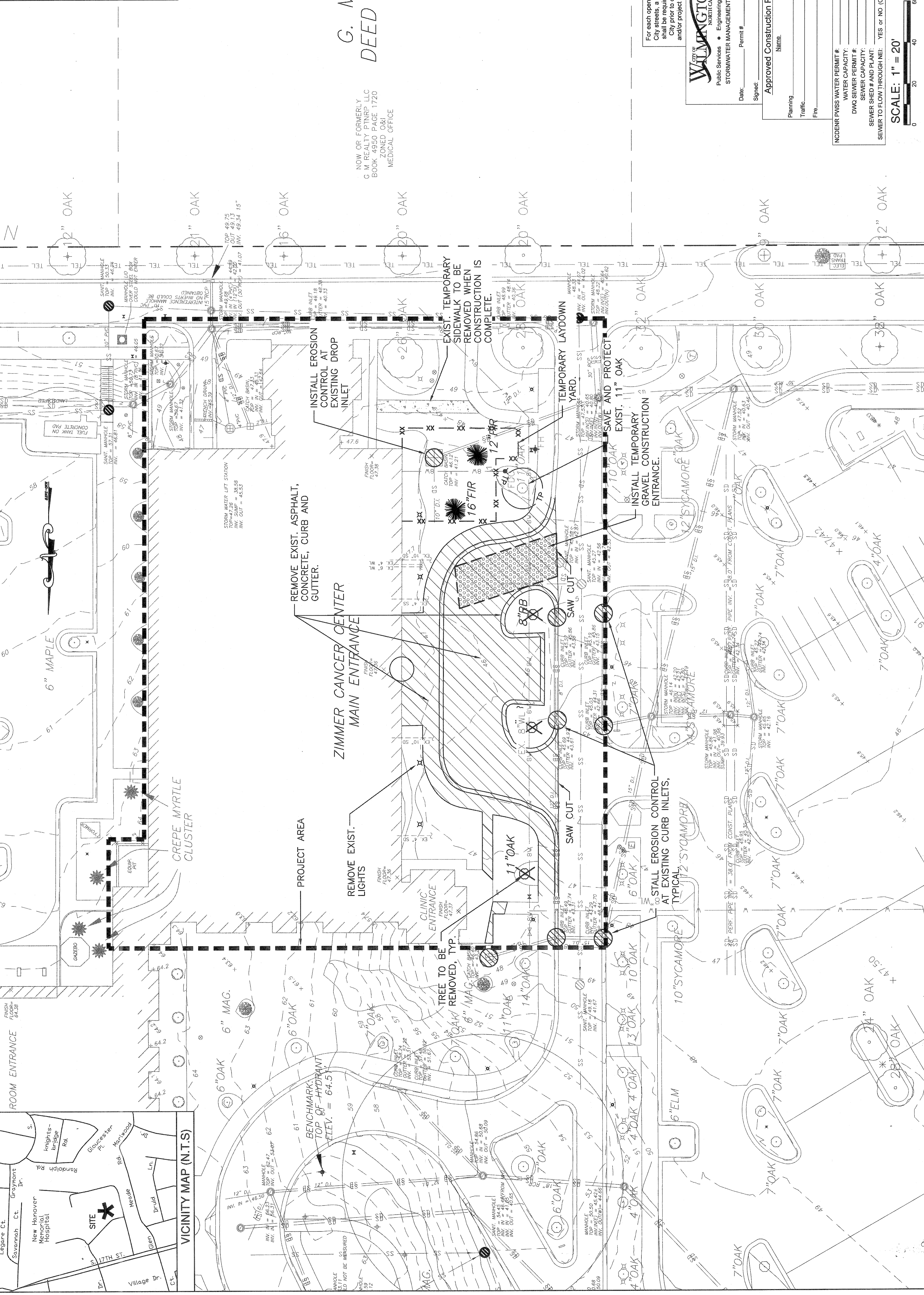
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OWNER/DEVELOPER
THOMAS WALSH, VP FACILITIES
AND SUPPORT SERVICES
WILMINGTON, NC 28402
910 343-2788

DEMOLITION PLAN
ZIMMER CANCER CENTER RENOVATION
2131 SOUTH 17TH STREET
WILMINGTON, N. C.

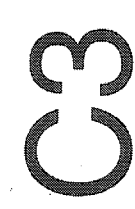
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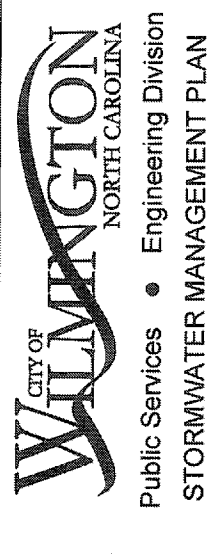
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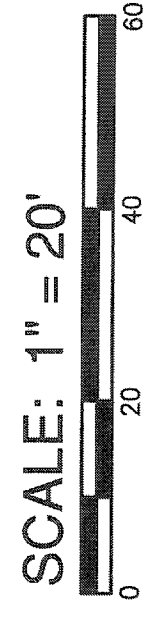
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PLANNING _____
 TRAFFIC _____
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Approved Construction Plan
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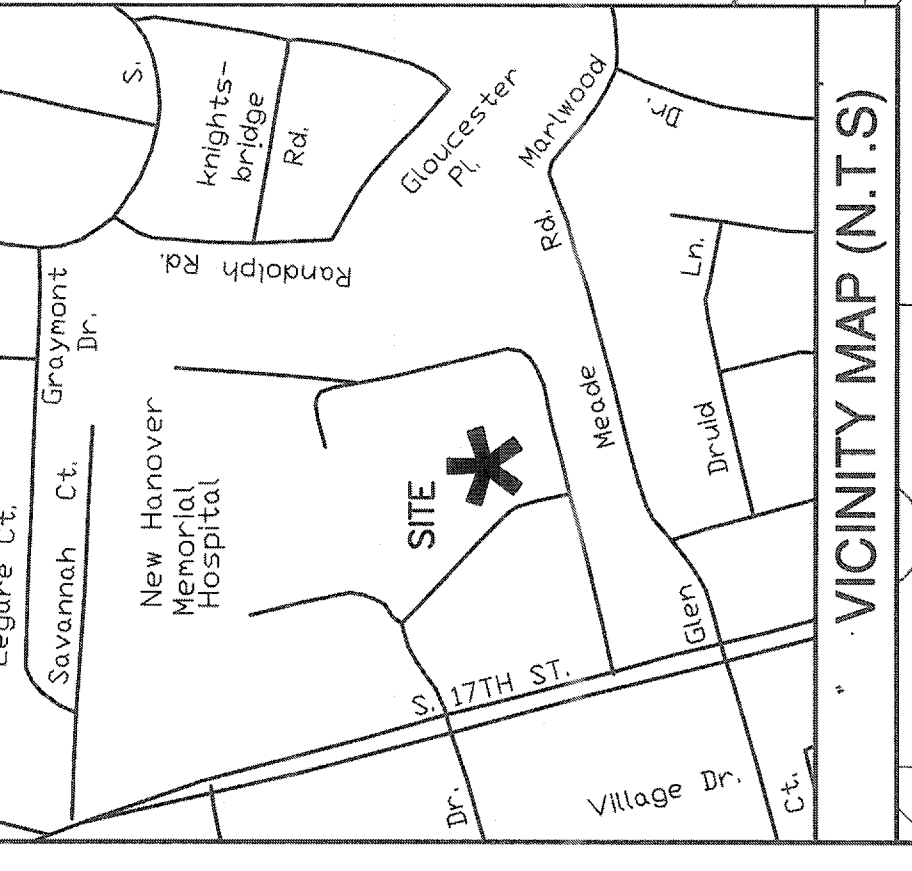
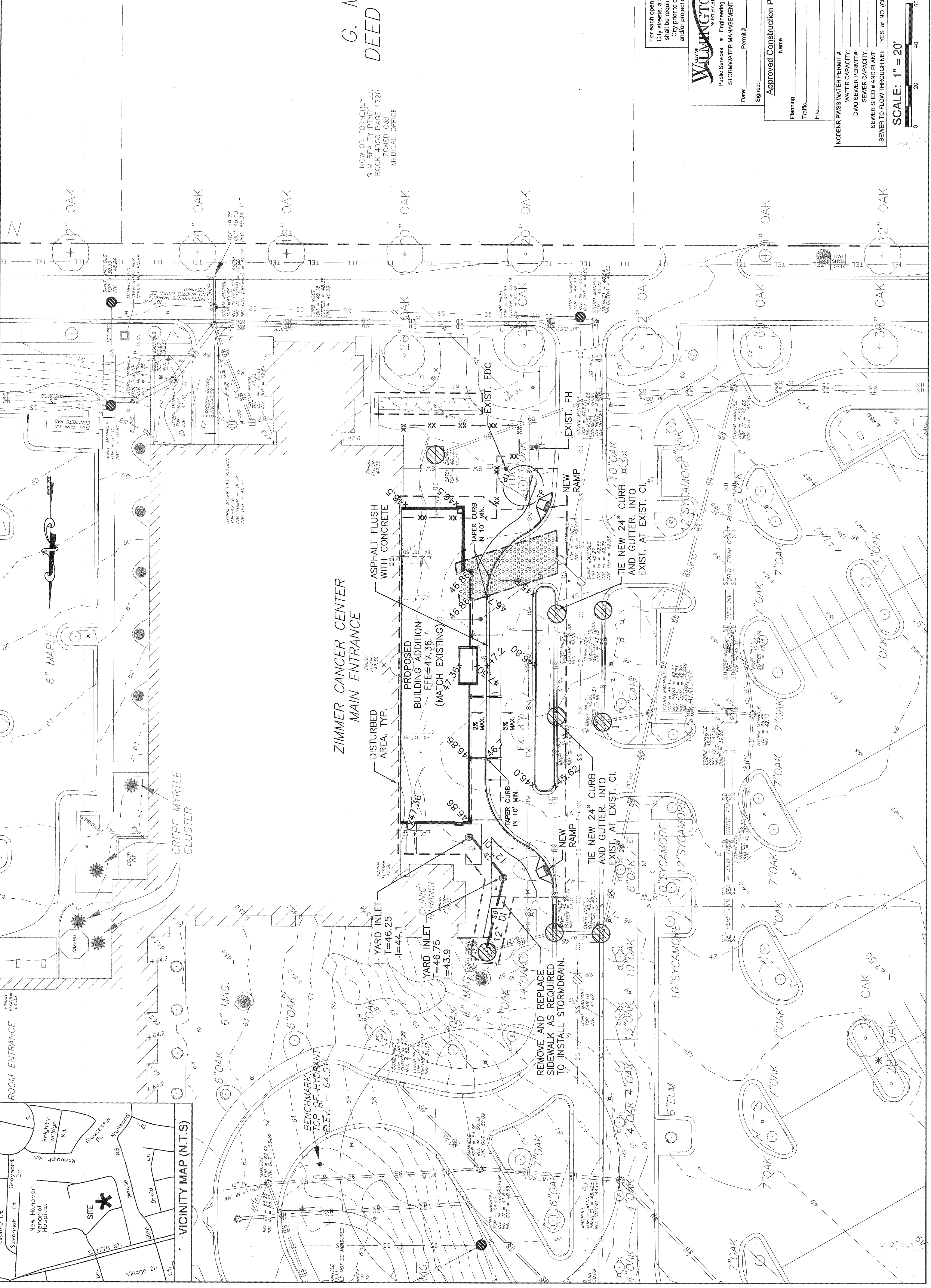
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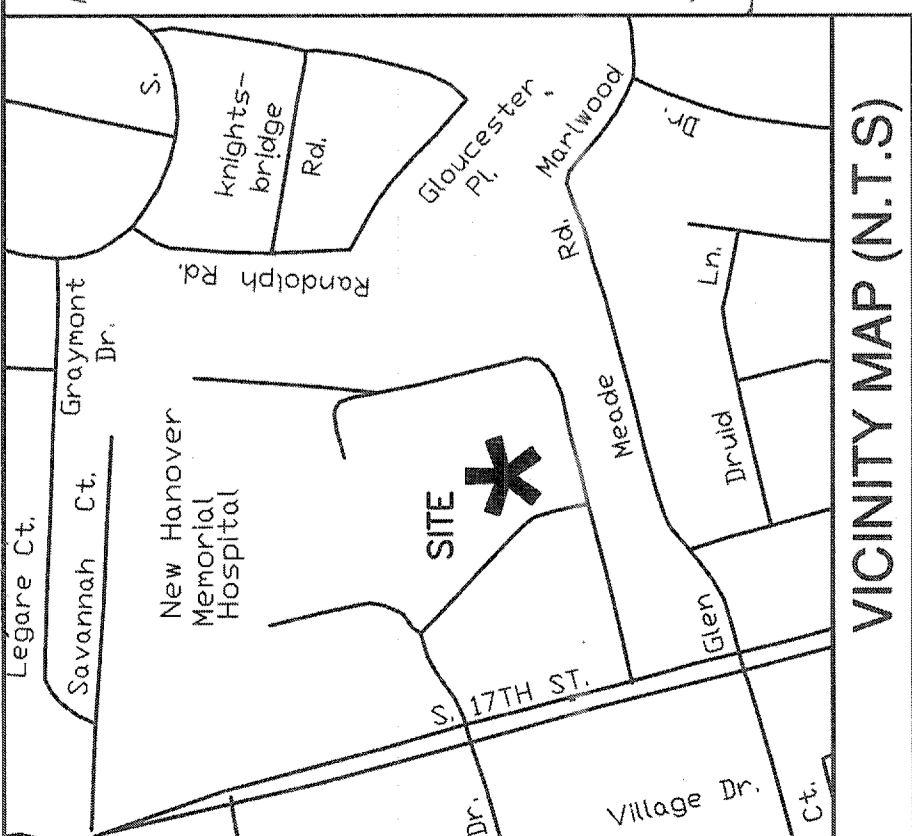
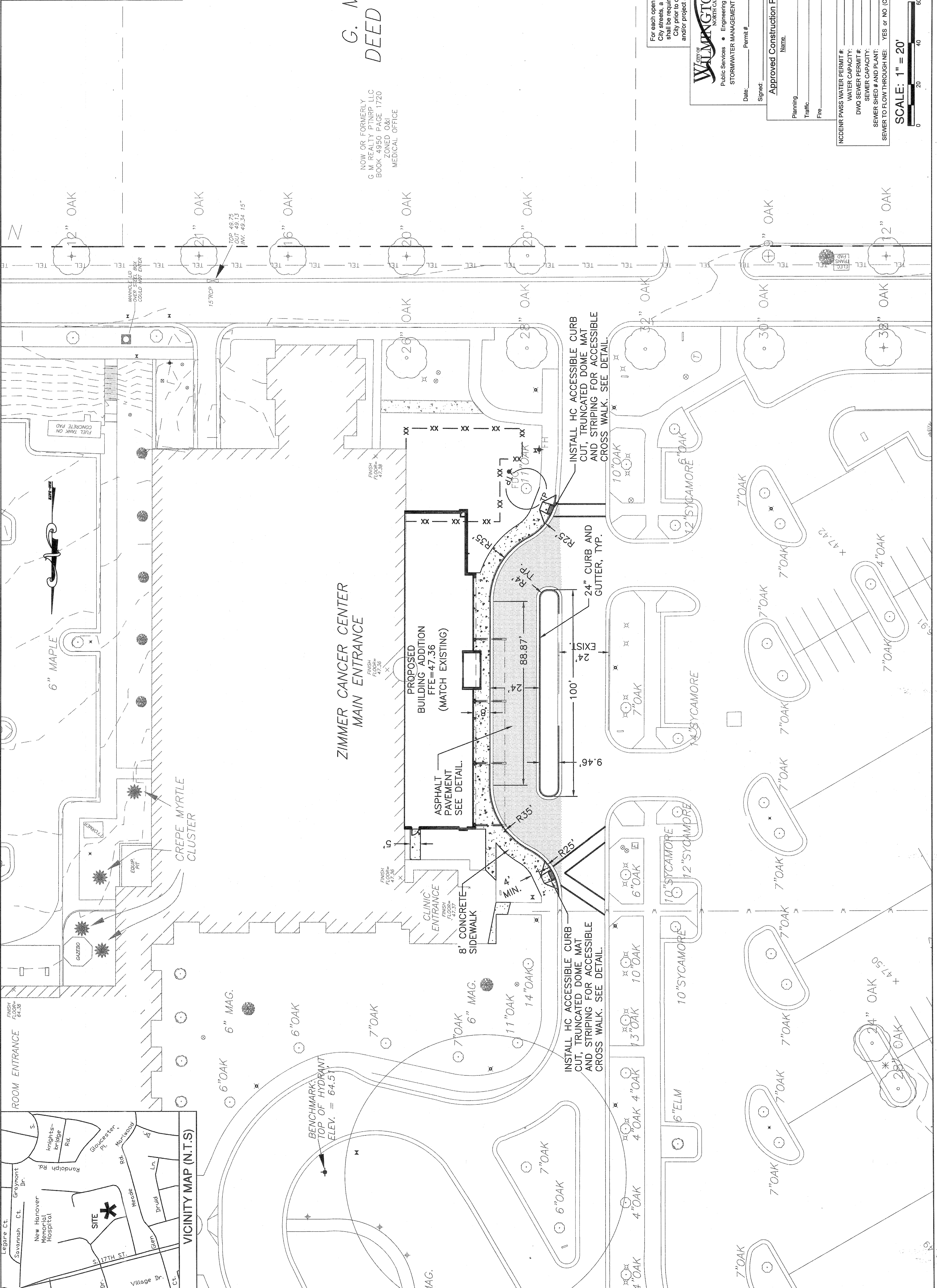
EROSION CONTROL PLAN
ZIMMER CANCER CENTER RENOVATION
 2131 SOUTH 17TH STREET
 WILMINGTON, N.C.

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LAYOUT PLAN
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CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
 Signed: _____
Approved Construction Plan
 Name _____ Date _____

Planning _____
 Traffic _____
 Fire _____

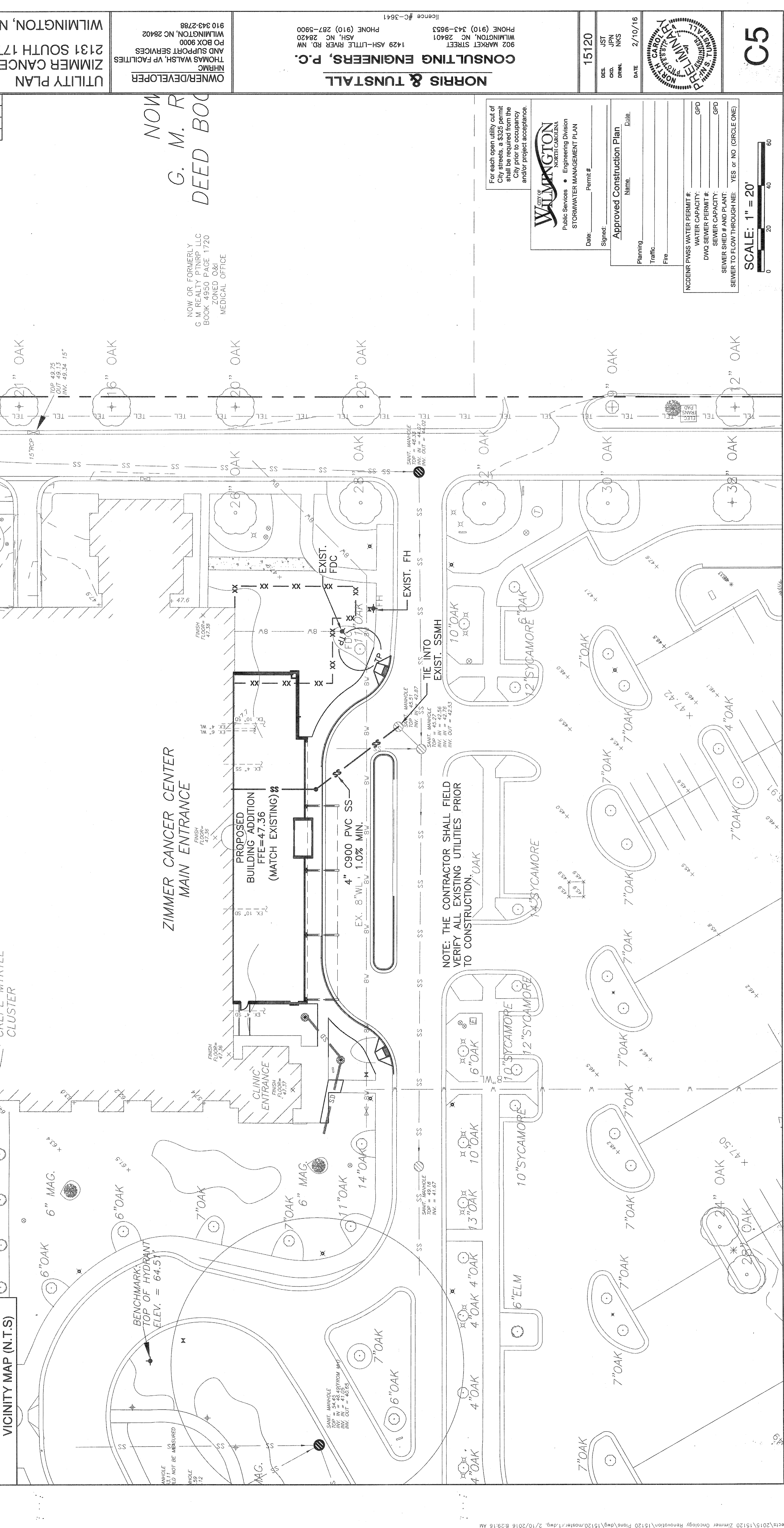
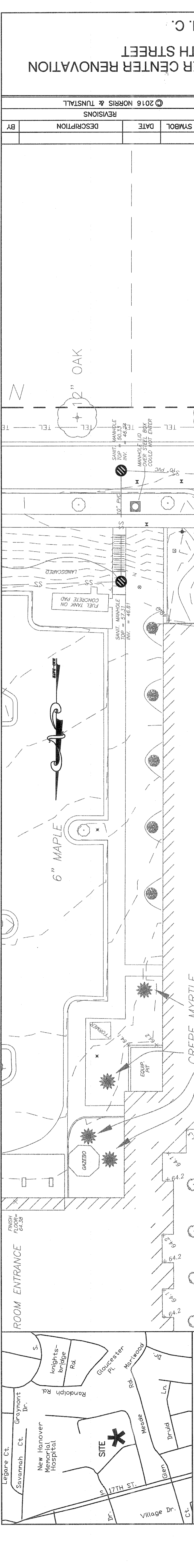
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 WATER CAPACITY: _____ GPD _____
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 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'

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THOMAS WALSH, VP FACILITIES
AND SUPPORT SERVICES
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

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ASH, NC 28420
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CITY OF WILMINGTON
NORTH CAROLINA
STORMWATER MANAGEMENT PLAN

Public Services • Engineering Division

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STORMWATER MANAGEMENT PLAN

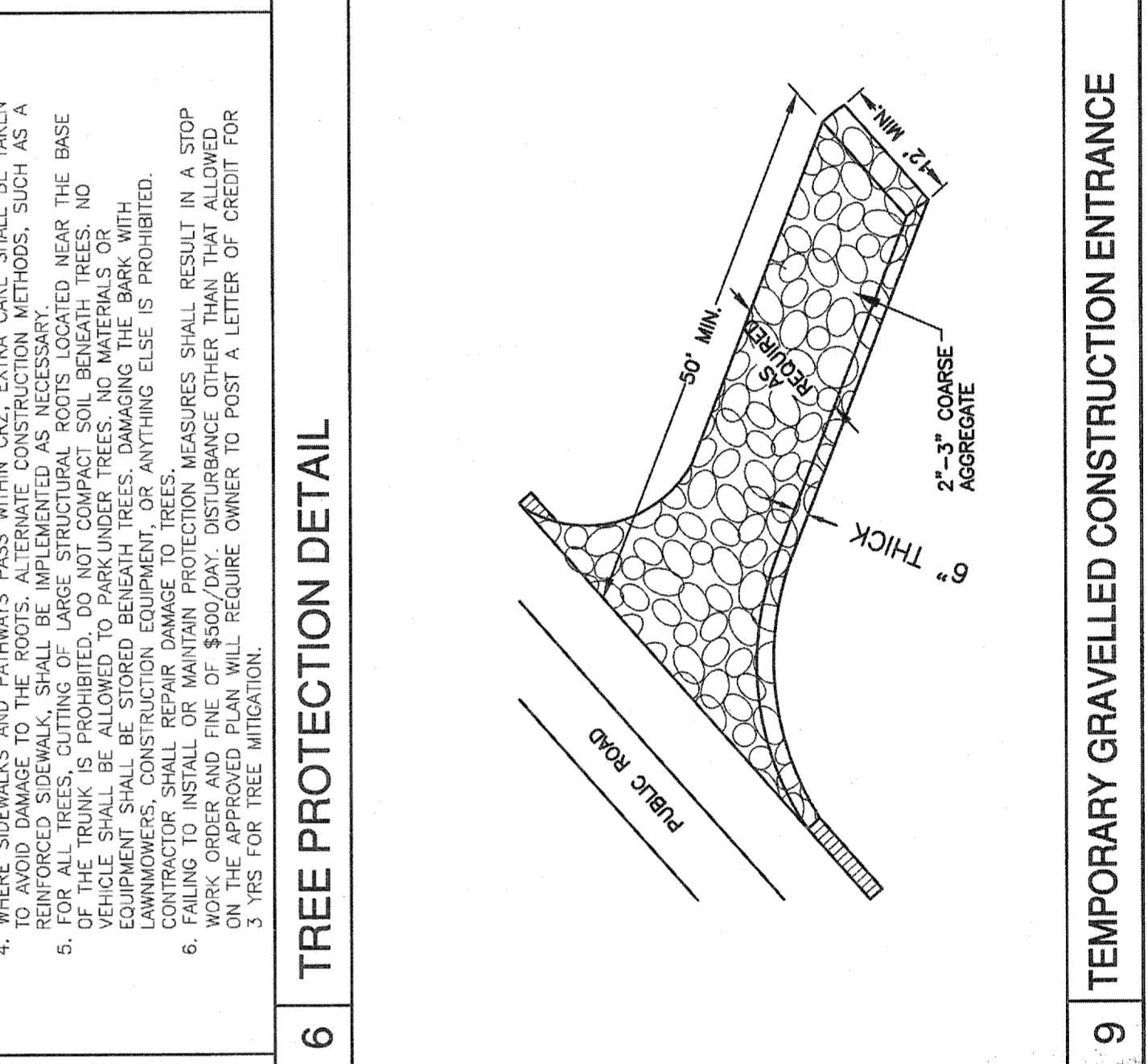
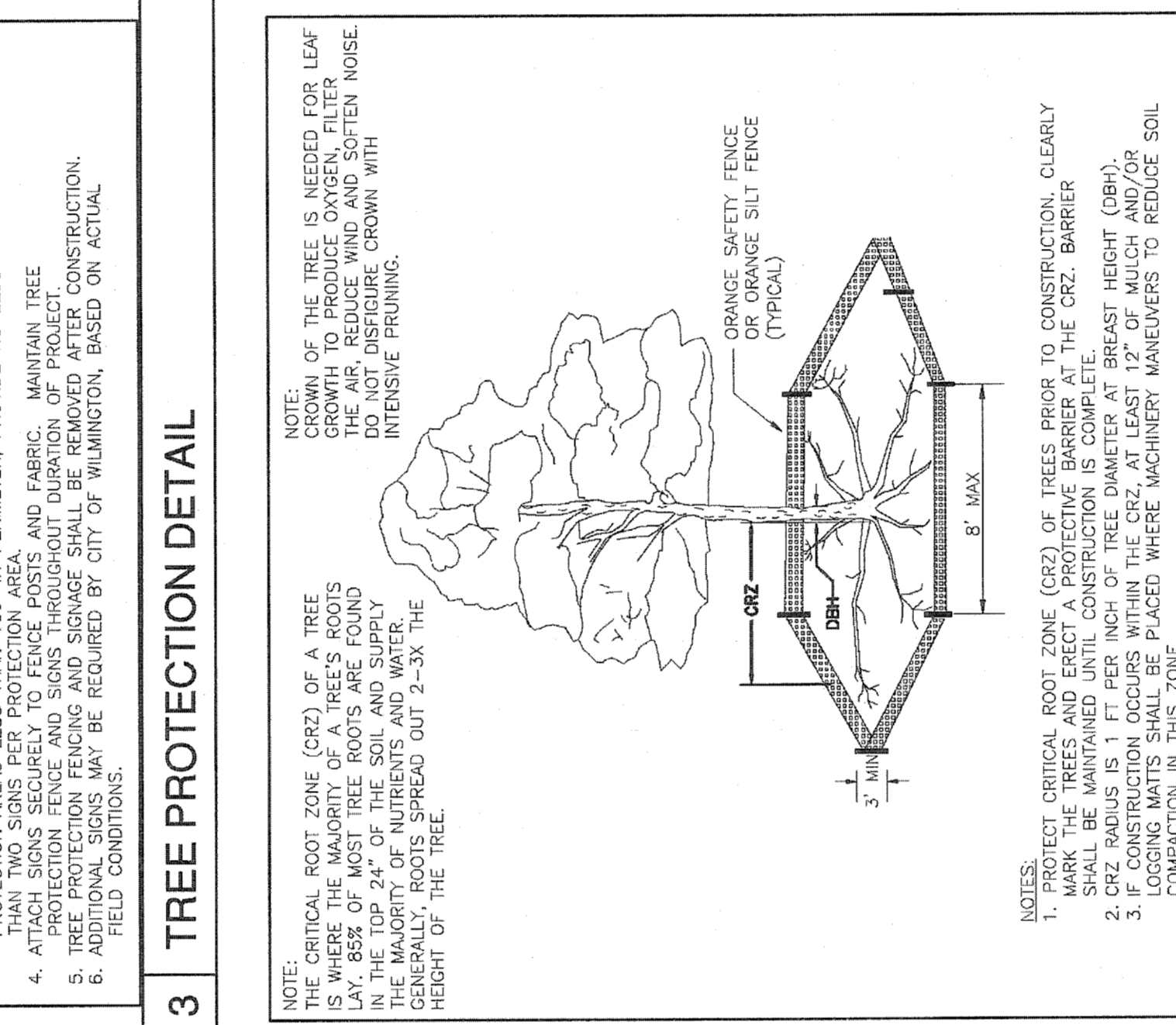
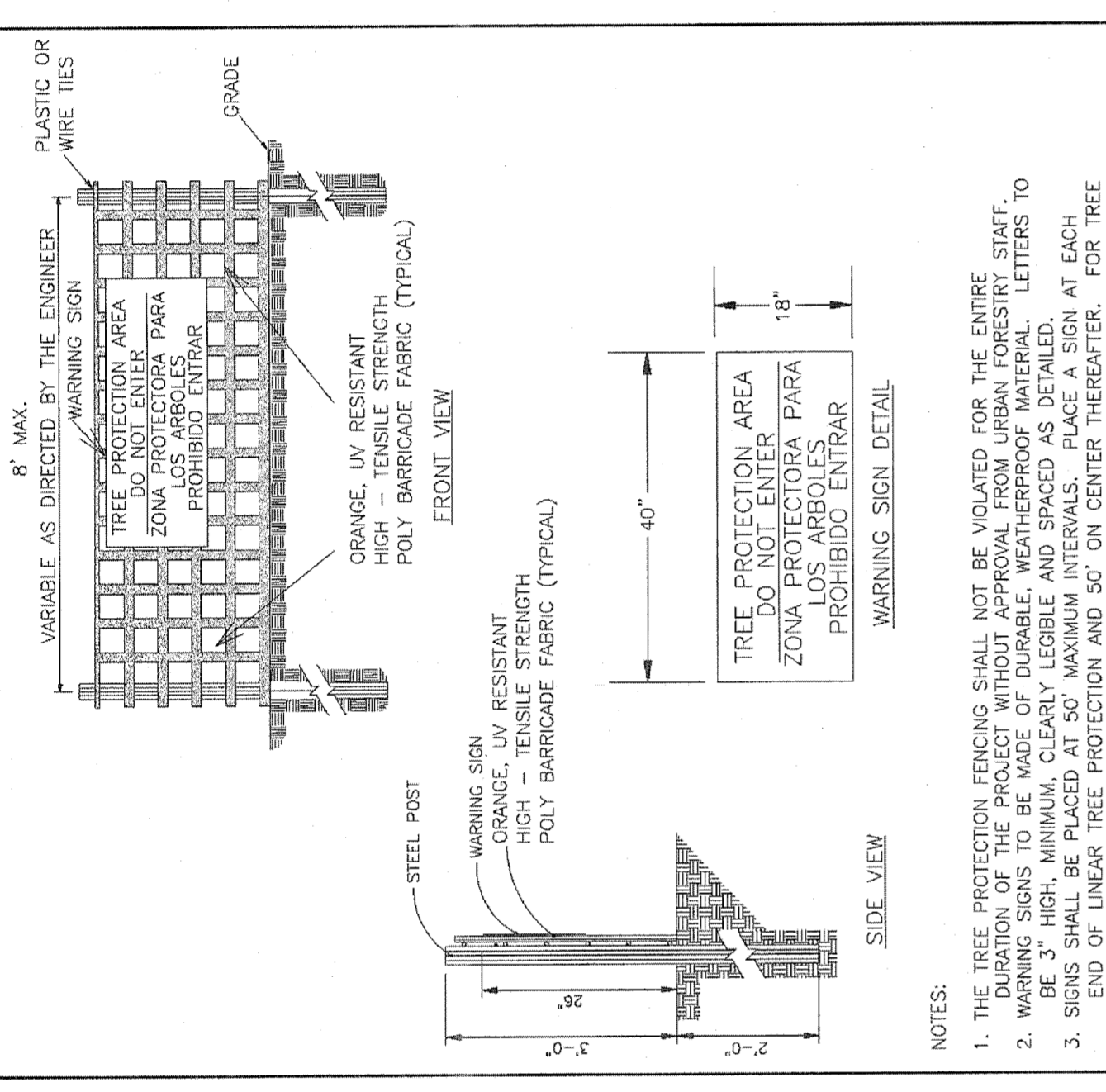
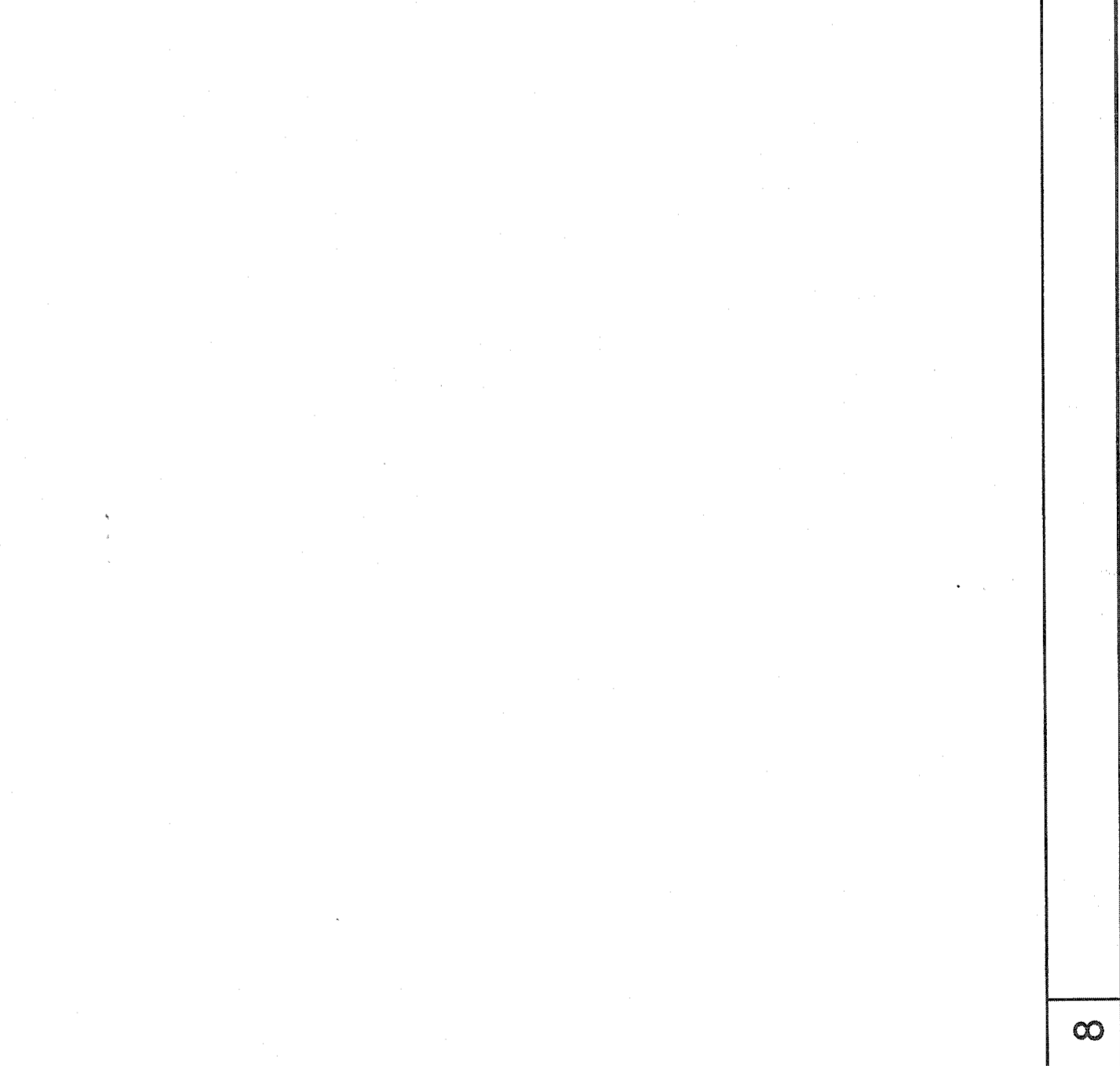
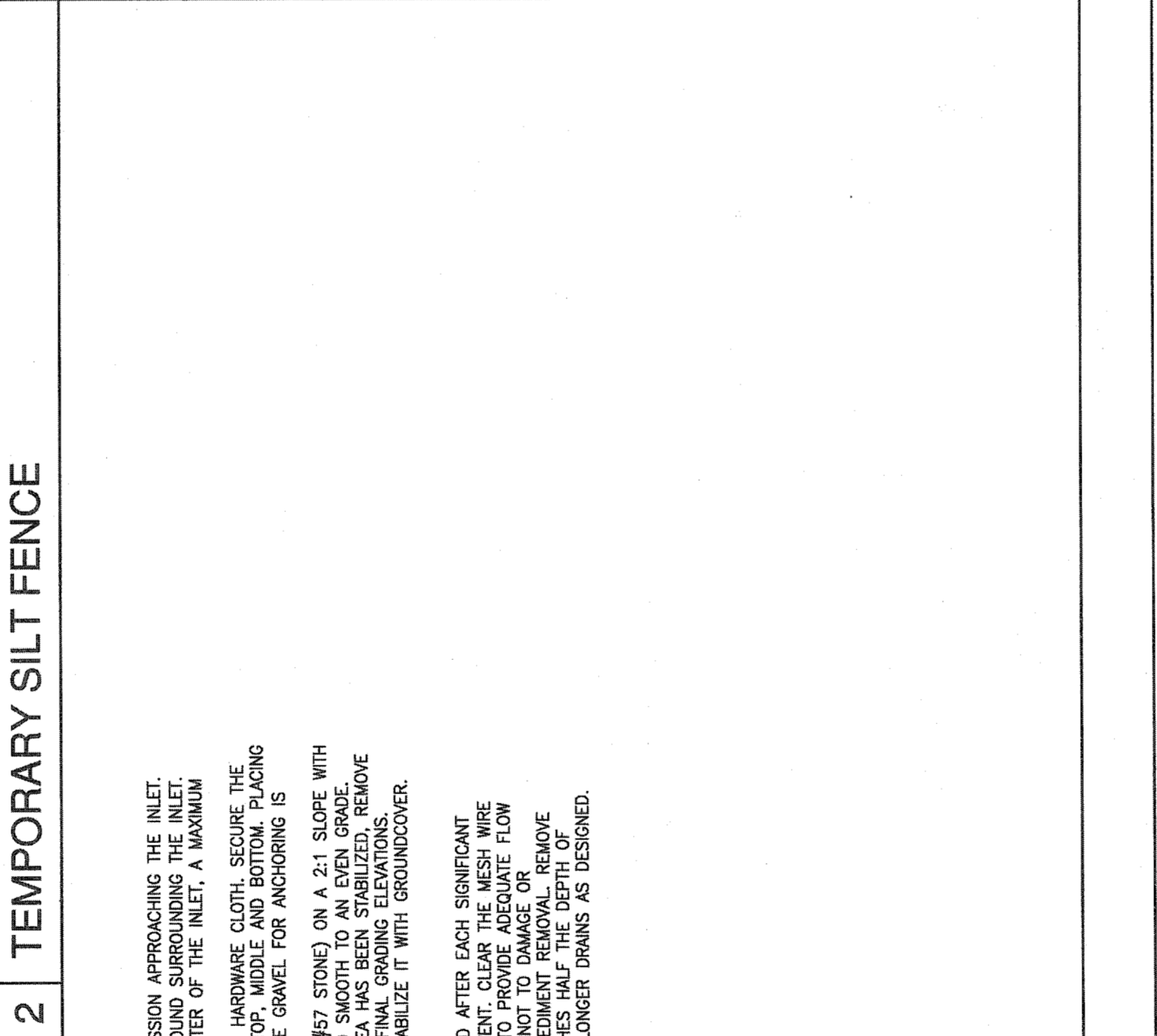
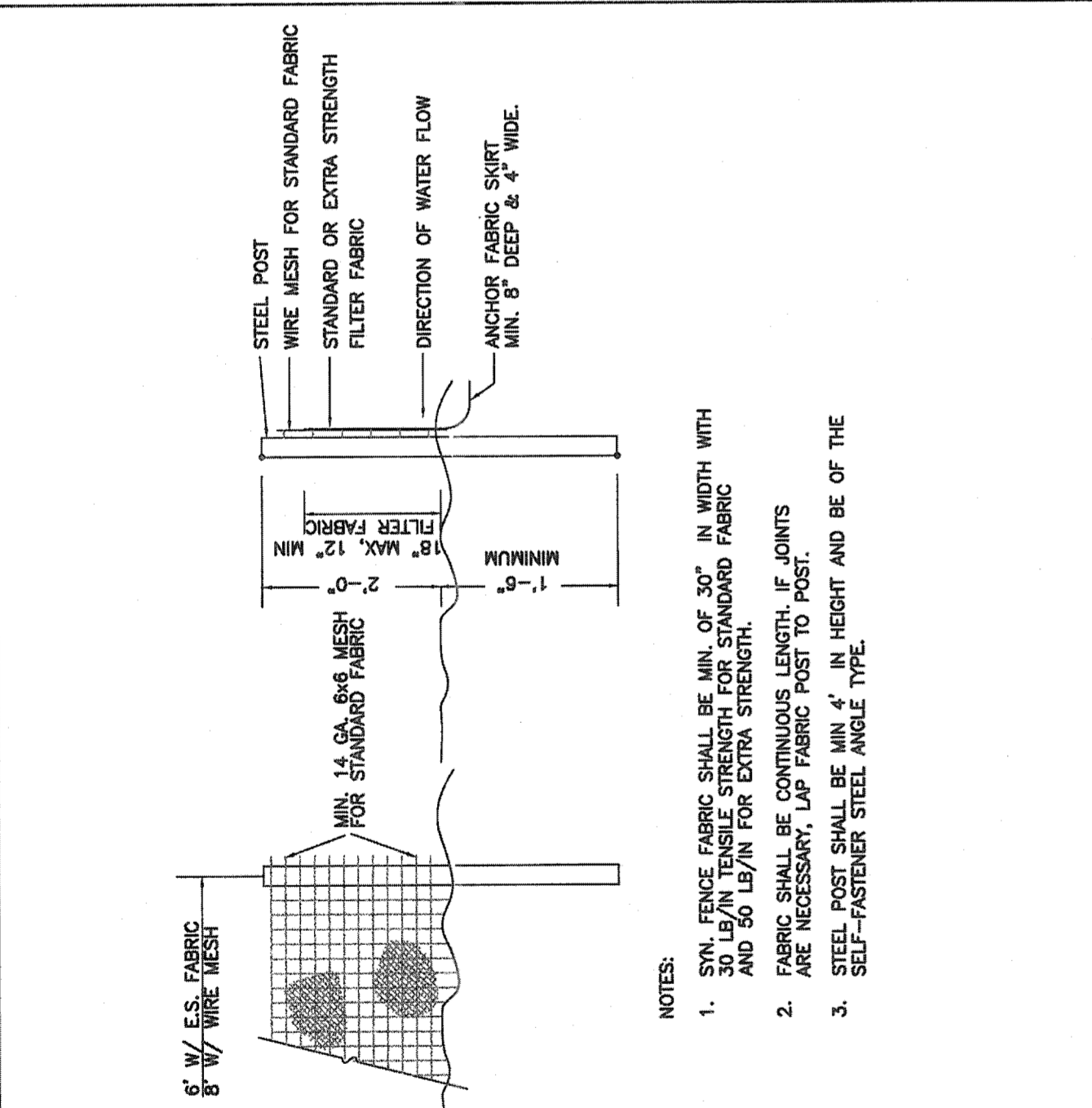
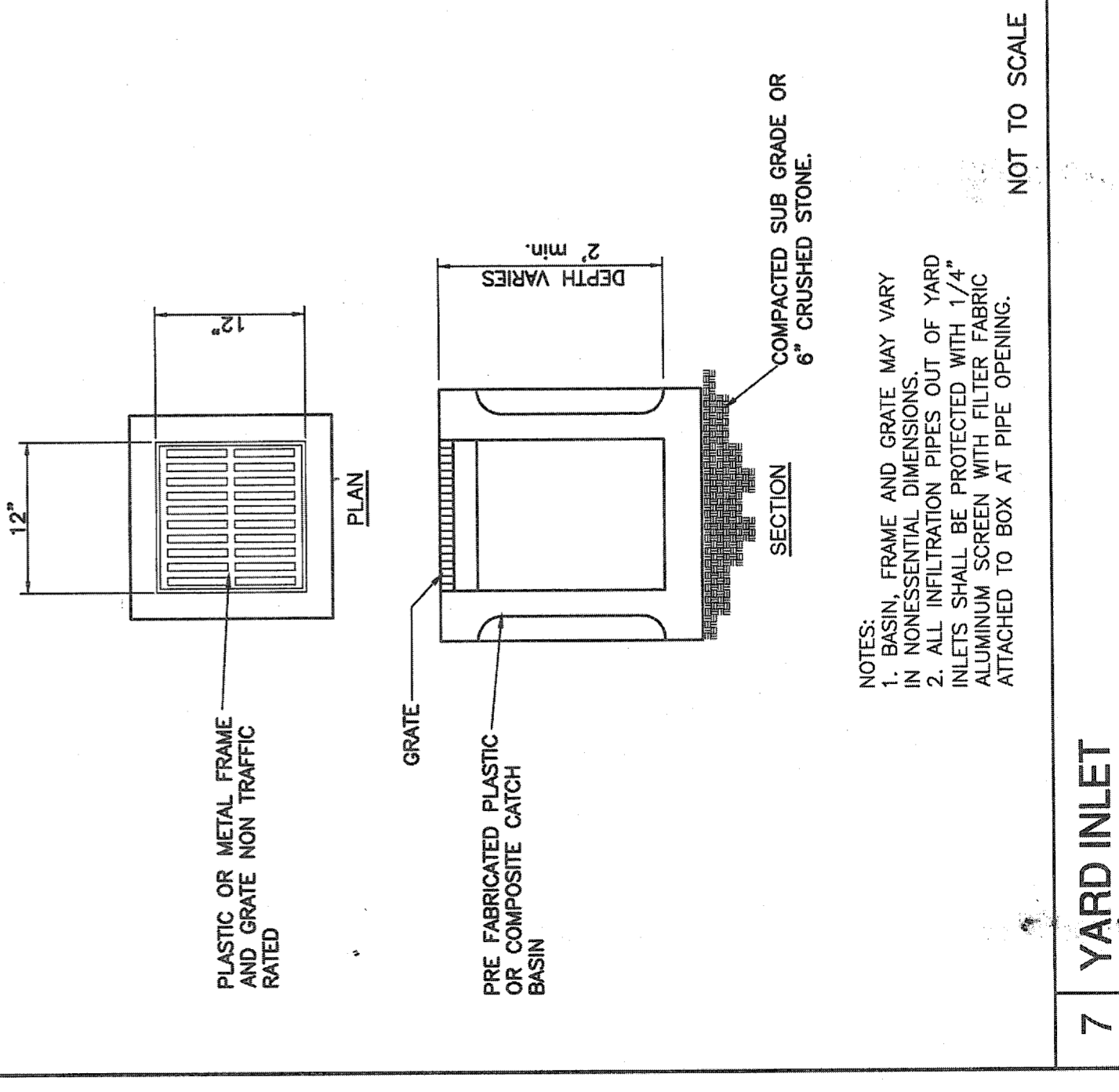
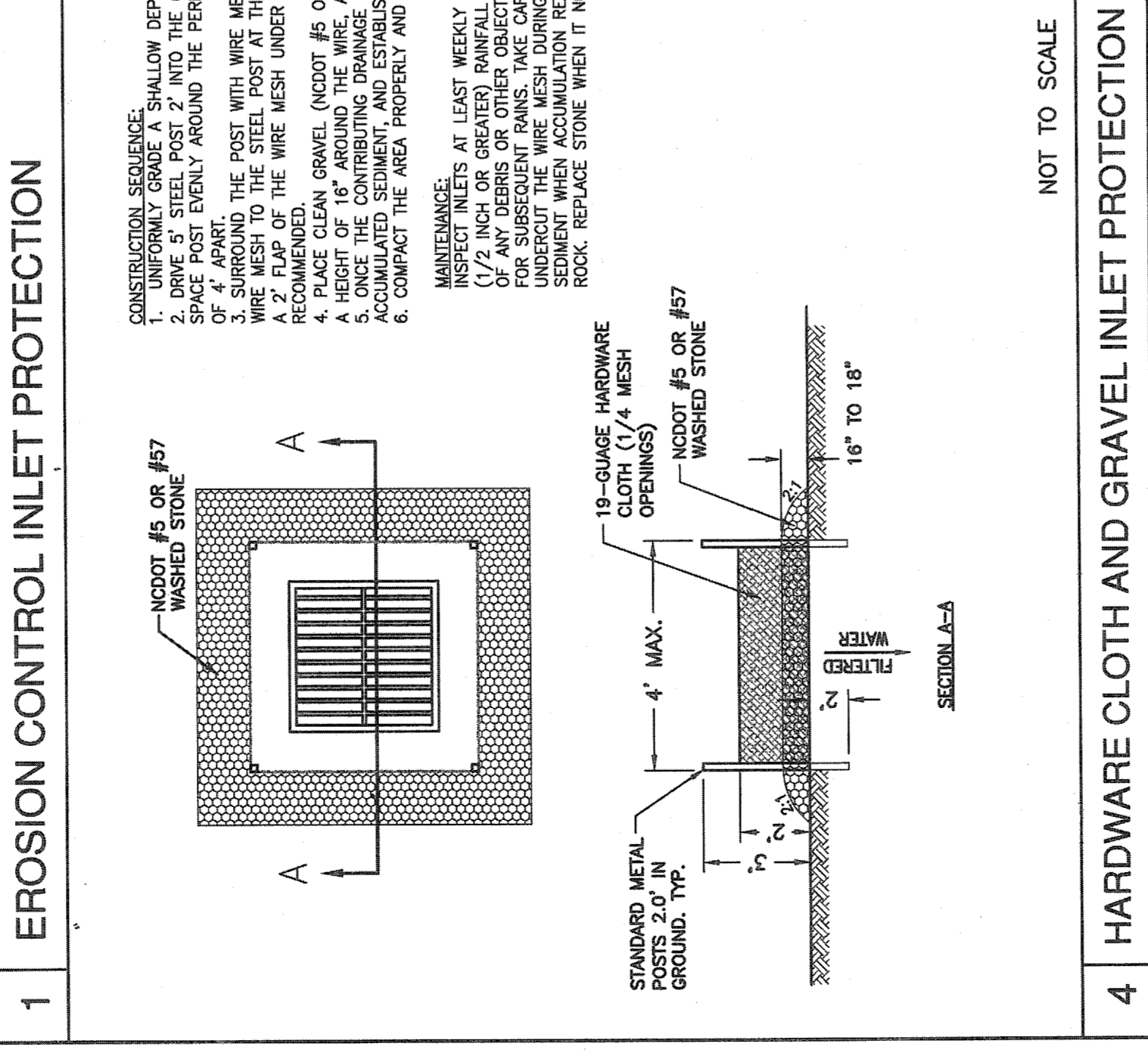
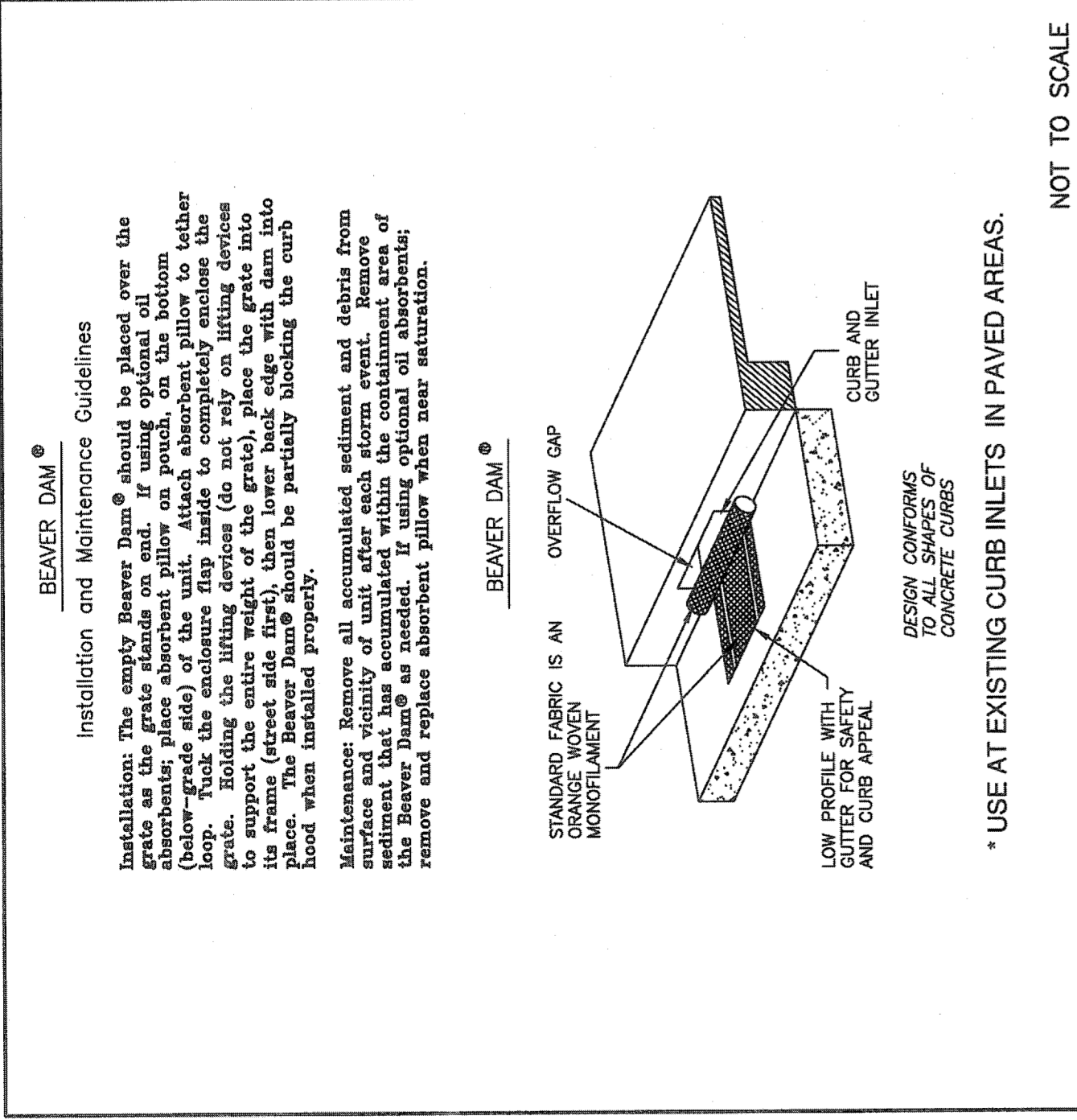
DATE: _____ Permit # _____
SIGNED: _____
APPROVED CONSTRUCTION PLAN NAME: _____ DATE: _____

PLANNING: _____
TRAFFIC: _____
FILE: _____

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SCALE: 1" = 20'

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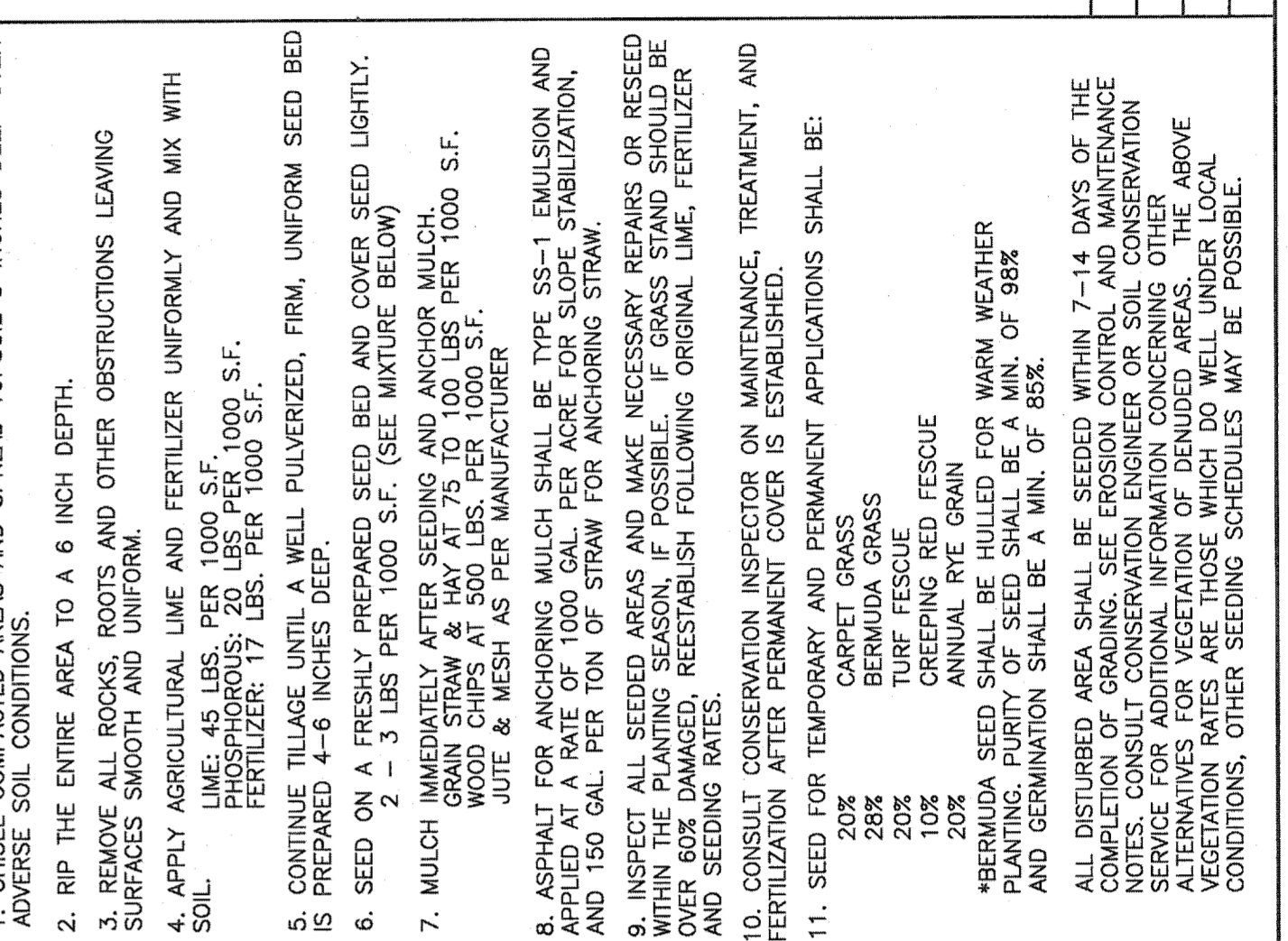


EROSION CONTROL NOTES AND MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR PROPER INSTALLATION AND MAINTENANCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT PROVIDE A MINIMUM OF 24 INCHES OF PROTECTION FROM ALL APPROXIMATE POINTS OF ENTRY.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN SEDIMENT ACCUMULATES TO A DEPTH OF 2 INCHES.
4. STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO REMOVE OBJECTIONABLE MATERIAL SPILLED WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
5. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN SEDIMENT ACCUMULATES TO A DEPTH OF 2 INCHES.
6. ROCK SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE.
7. SILT SACKS WILL BE EMPLOYED ONCE A WEEK AND AFTER EVERY RAIN EVENT. DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
8. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STEEL STAKES PER 10 FEET.
9. FERTILIZER SHALL BE APPLIED TO ALL GRASS AREAS WHEN STANDARD STRENGTH FABRIC AND WIRE BAKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF-FULL OF SEDIMENT; NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
10. LAND QUALITY REQUIREMENTS: FERTILIZED, RESEEDED, AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS.
11. ALL SEEDING AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER (10') AND ALL HIGH QUALITY WATER (HOW) ZONES SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHERS TEMPORARILY STABILIZED WITHIN 15 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHERS PERMANENTLY STABILIZED WITHIN 21 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

TEMPORARY PERMANENT GRASS SPECIFICATION:

1. CHESEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS.
2. RIP THE ENTIRE AREA TO A 6 INCH DEPTH.
3. REMOVE ALL ROCKS, ROOTS AND OTHER OBSTRUCTIONS LEAVING SURFACES SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL.
LIME: 45 LBS. PER 1000 S.F.
PHOSPHORUS: 20 LBS. PER 1000 S.F.
FERTILIZER: 17 LBS. PER 1000 S.F.
5. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM, UNIFORM SEED BED IS PREPARED 4-6 INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEED BED AND COVER SEED LIGHTLY.
2 - 3 LBS PER 1000 S.F. (SEE MIXTURE BELOW)
GRASS STRAW & HAY AT 75 TO 100 LBS PER 1000 S.F.
GRASS SEED & HAY AT 50 LBS PER 1000 S.F.
MIXED & MESH AS PER MANUFACTURER.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
APPLY 5 LBS PER 1000 S.F. OF TYPE GS-1 EMULSION AND 150 GAL. PER TON OF STRAW FOR ANCHORING STRAW.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEED WITHIN THE PLANTING SEASON, IF POSSIBLE. IF GRASS STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE, TREATMENT, AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
10. SEED FOR TEMPORARY AND PERMANENT APPLICATIONS SHALL BE:
20% CARPET GRASS
20% TURF FESCUE
20% ANNUAL RYE GRASS
*BERMUDA SEED SHALL BE HULLED FOR WARM WEATHER PLANTING. PURITY OF SEED SHALL BE A MIN. OF 98% AND GERMINATION SHALL BE A MIN. OF 85%.
11. ALL DISTURBED AREA SHALL BE SEED WITHIN 7-14 DAYS OF THE COMPLETION OF GRADING. SEE EROSION CONTROL AND MAINTENANCE NOTES, CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION ON SEEDING. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS, OTHER SEEDING SCHEDULES MAY BE POSSIBLE.



SITE WORK NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITHIN NODOT AND LOCAL RIGHT OF WAYS WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: SEE SPECIFICATIONS.
4. STRIPPING: SEE SPECIFICATIONS.
5. MUCKING: SEE SPECIFICATIONS.
6. BORROW MATERIAL: SEE SPECIFICATIONS.
7. FILL AND COMPACTION: SEE SPECIFICATIONS.
8. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
10. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY BOB JONES, PLS AND PROVIDED BY OWNER.
11. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
13. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NODOT STANDARDS.
14. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
15. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
16. SEE SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
17. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.

WILMINGTON, N. C.

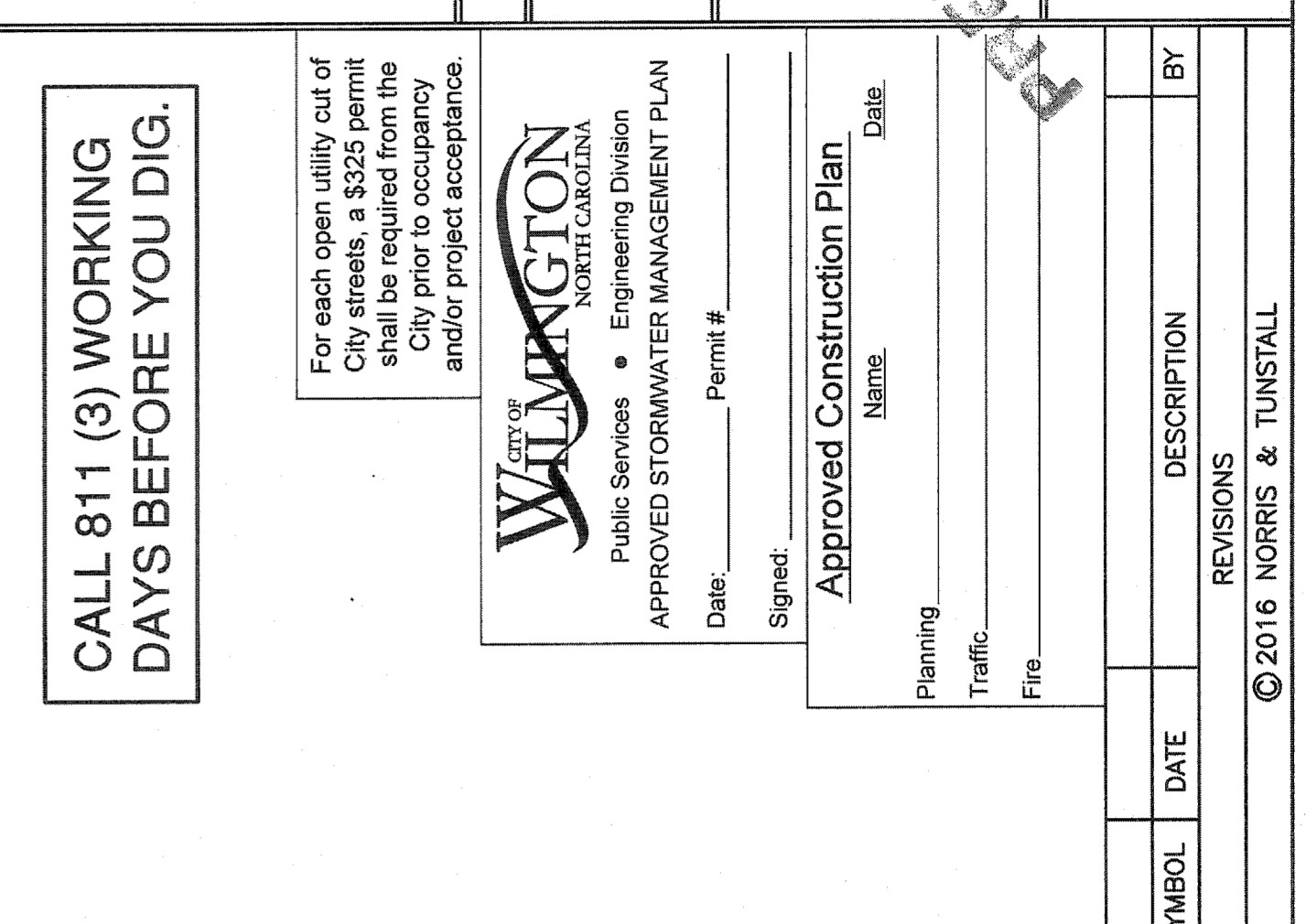
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602 MARKET STREET
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PHONE (910) 343-9633

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licen# C-3641

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APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____
Signed: _____

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File _____

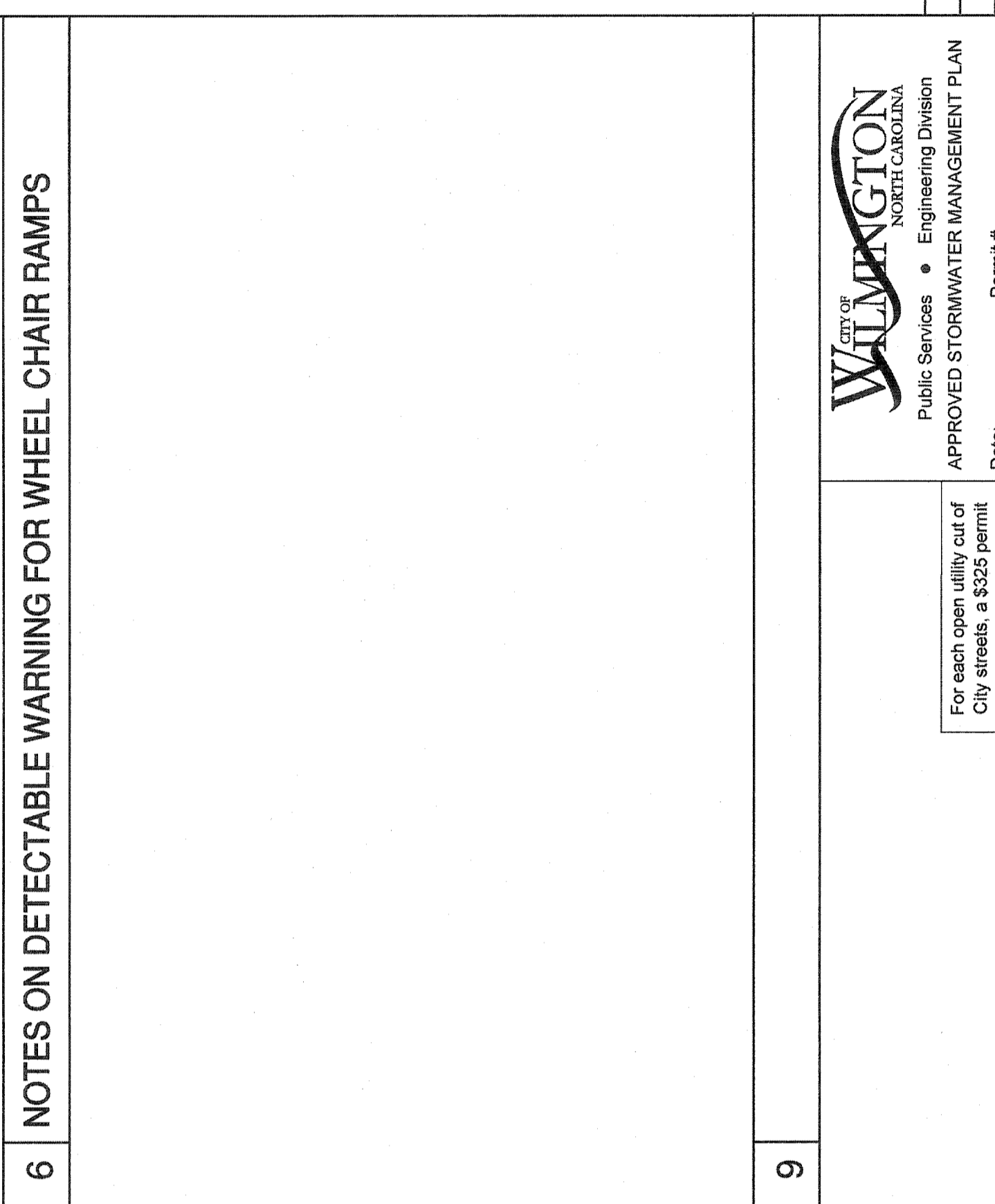
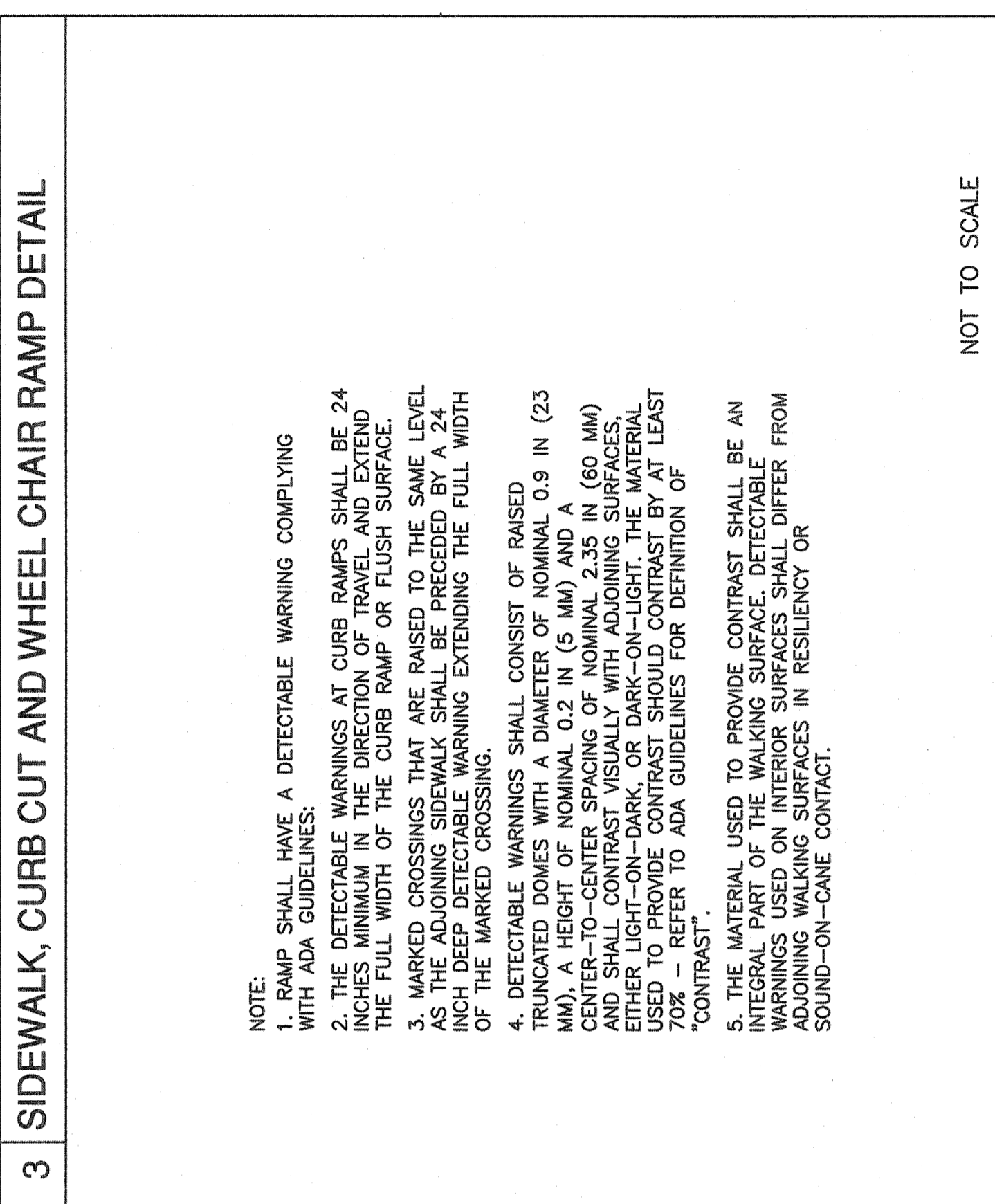
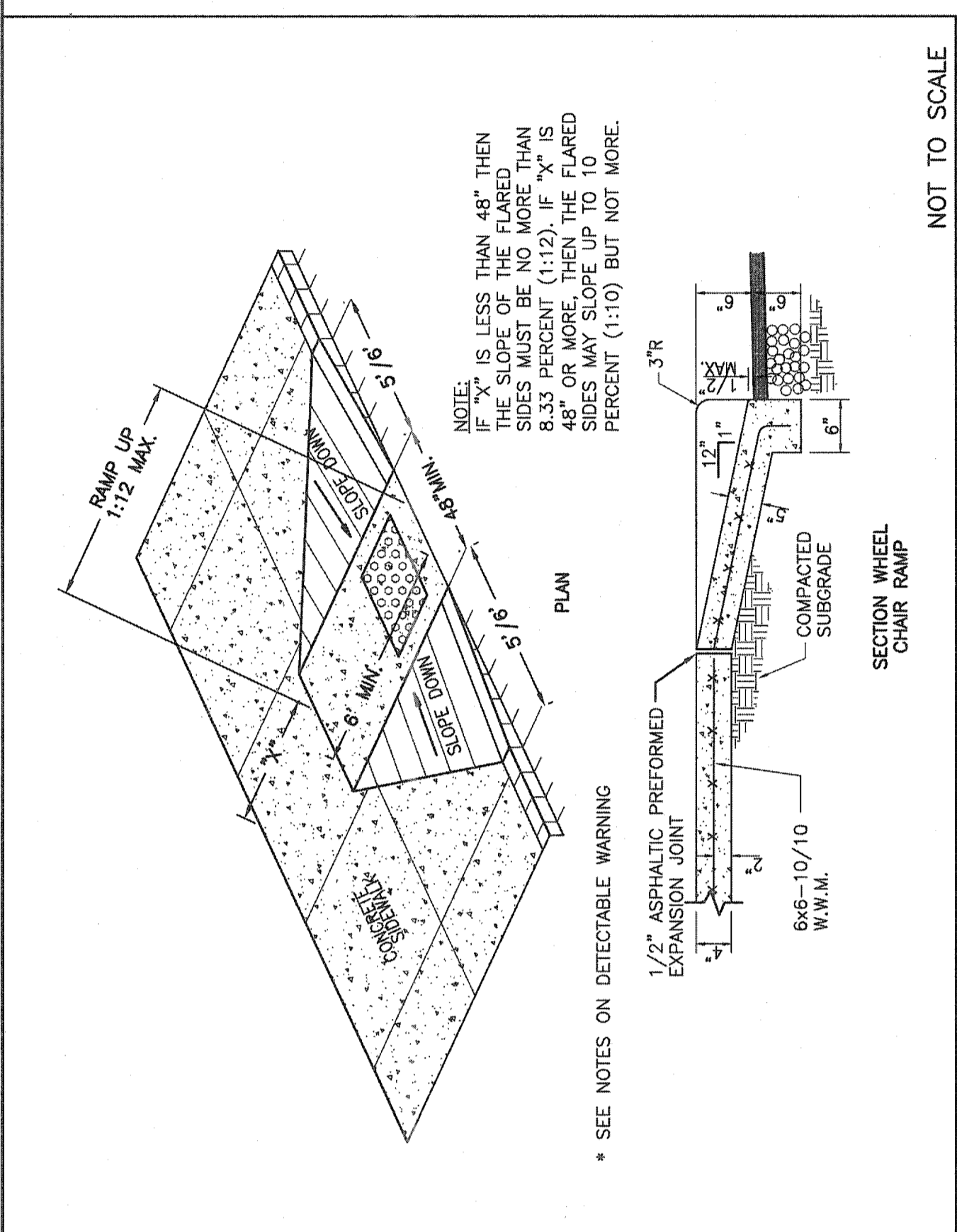
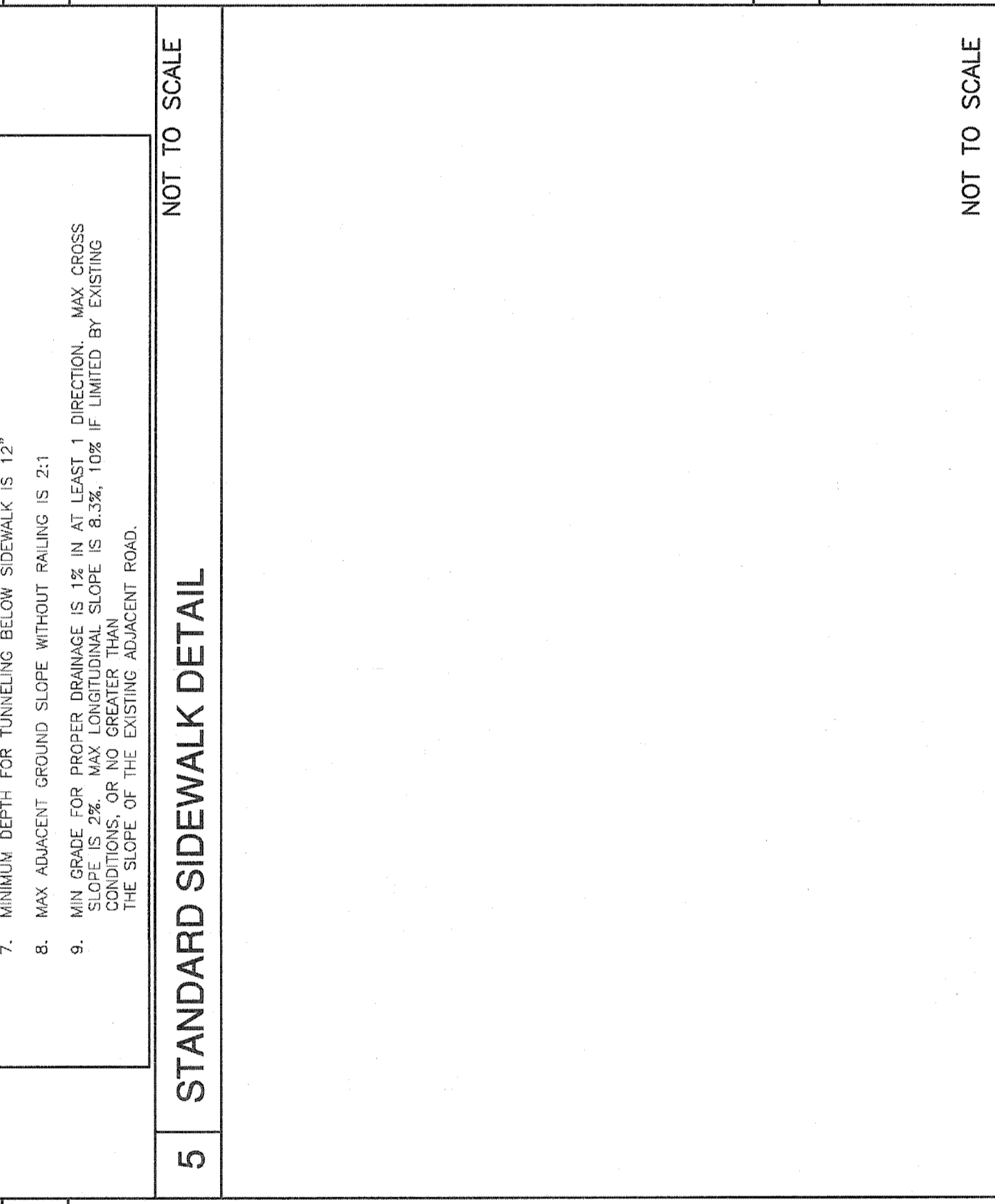
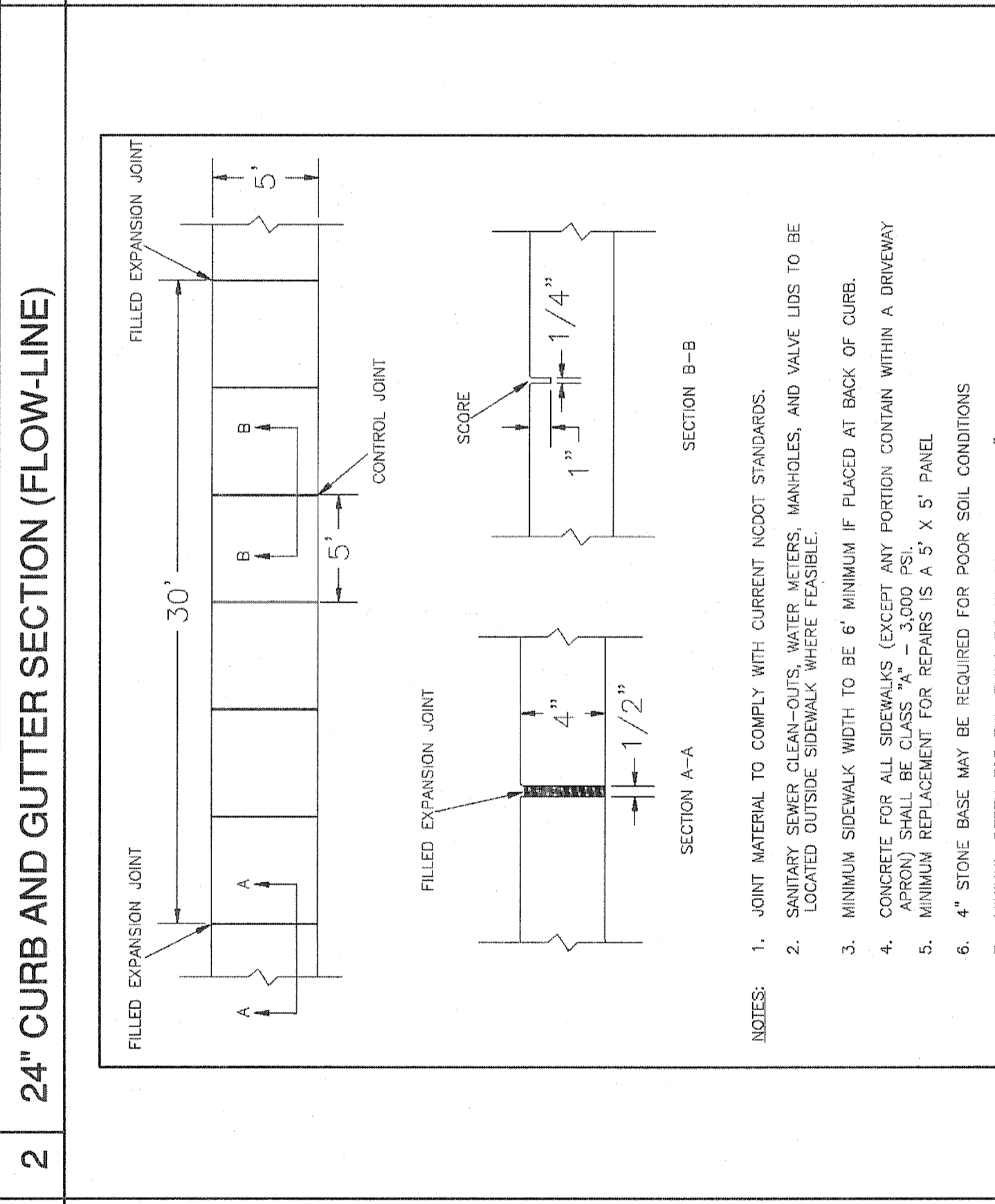
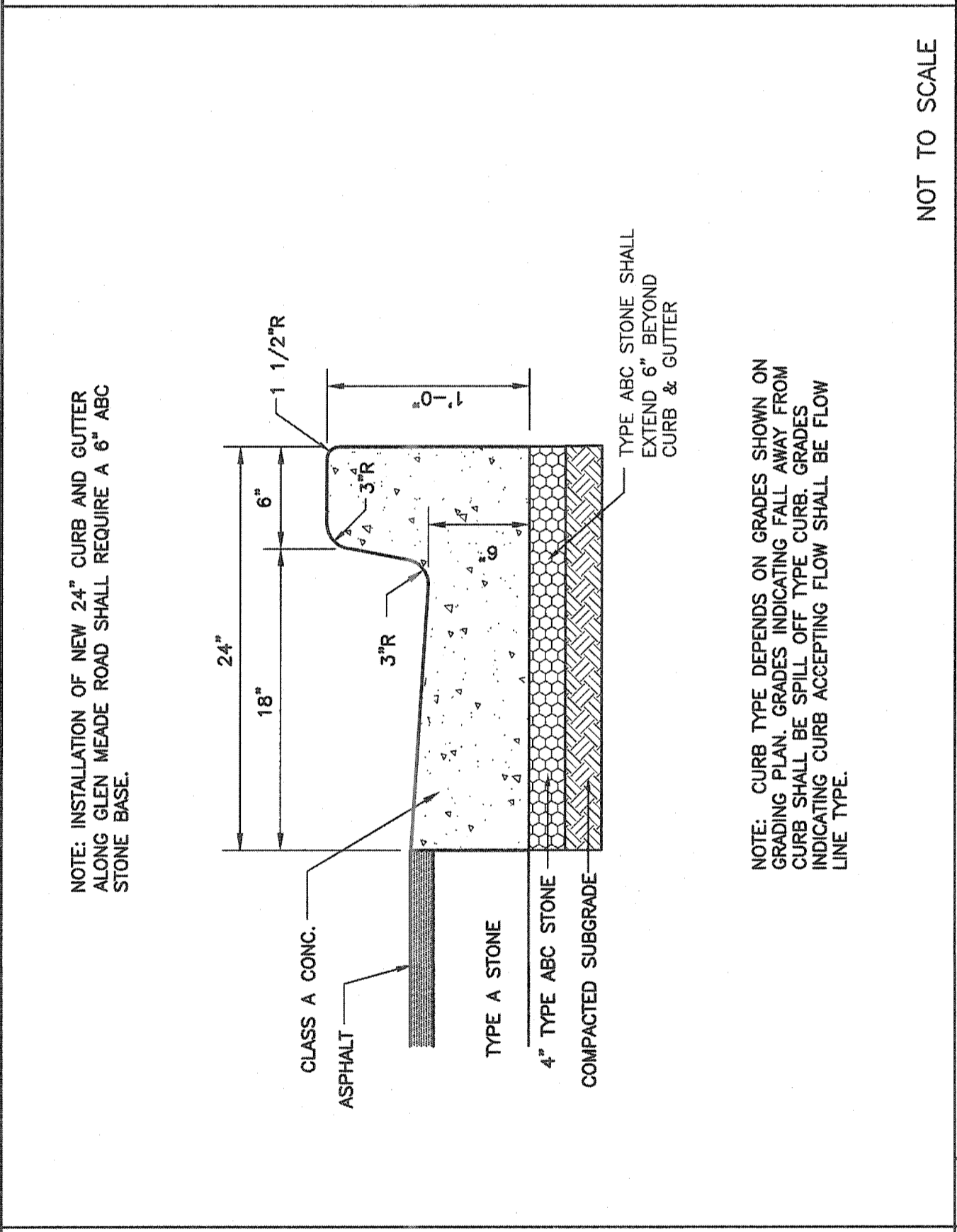
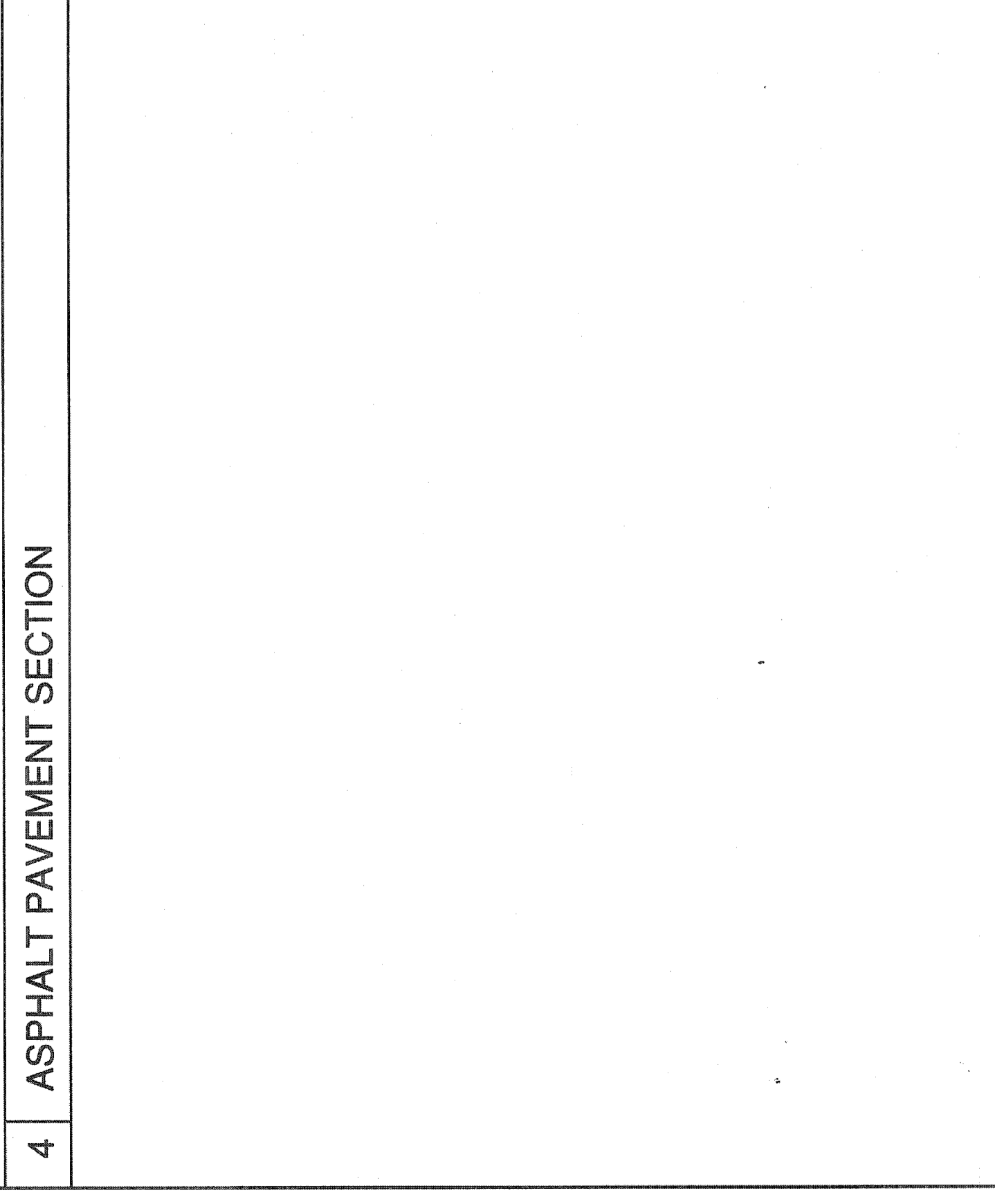
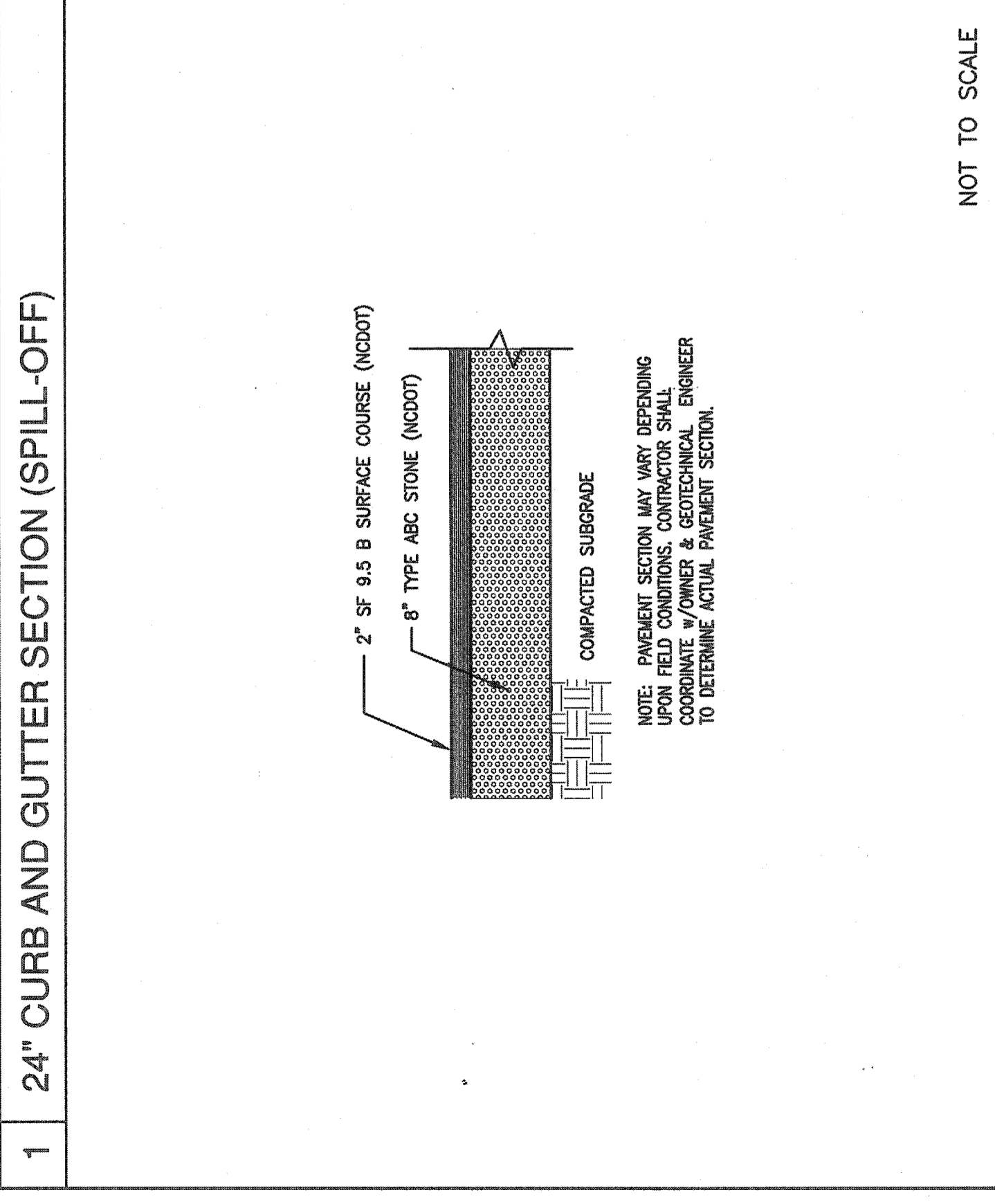
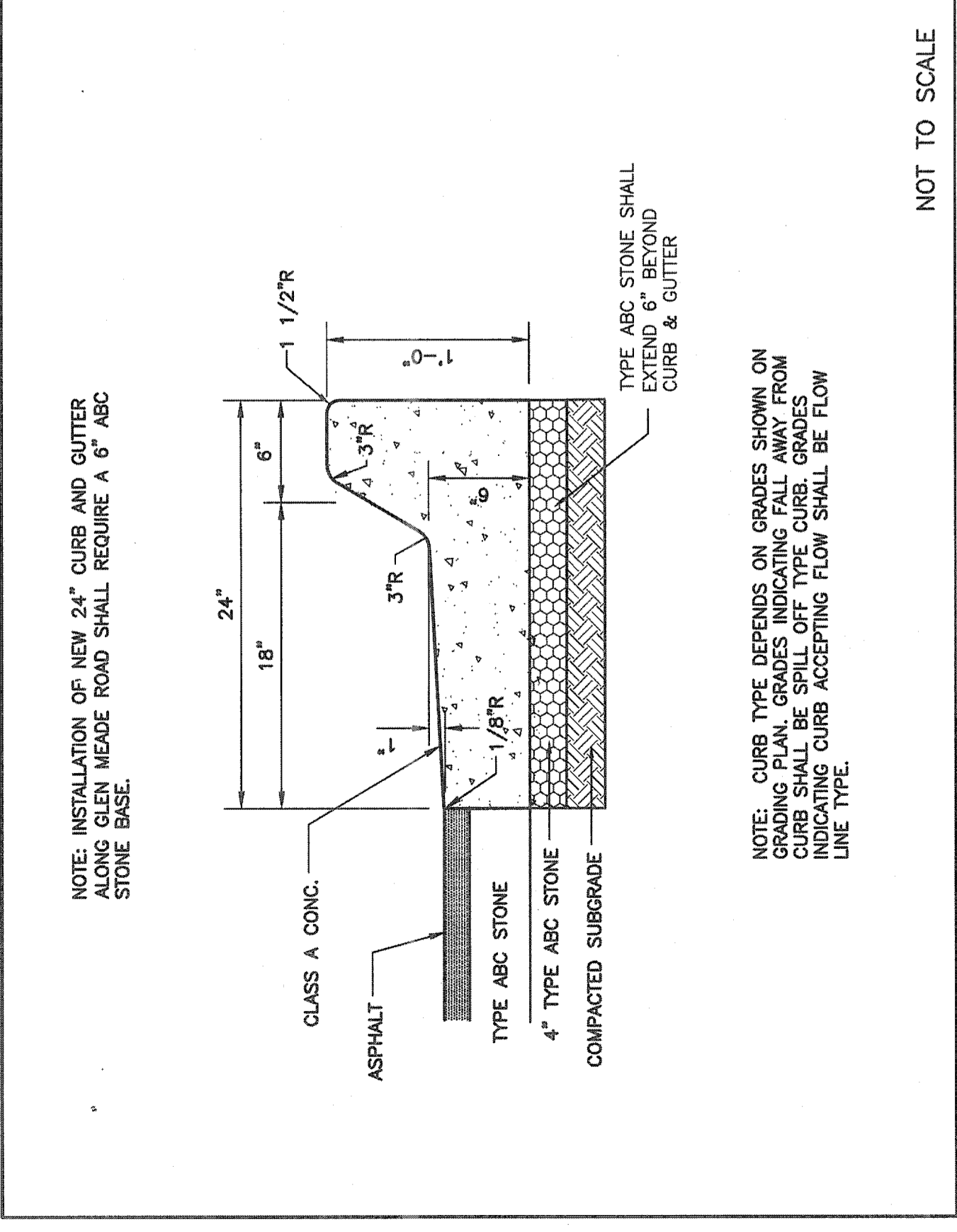
SYMBOL DATE DESCRIPTION BY

REVISIONS

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CALL 811 (3) WORKING DAYS BEFORE YOU DIG.

C6



CITY OF WILMINGTON STANDARD NOTES:

- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES AND SHRUBS. ALL CONSTRUCTION WORKERS MUST WEAR PROTECTIVE VESTS AND HELMETS. PROTECTION FENCING; PROTECTIVE FENCING;
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, AND CURBING WILL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR OR ASSE.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE INSTALLED, THEY MUST BE INSTALLED WITH A MINIMUM OF ONE SINGLE STRAND COPPER WIRE INSTALLED THE ENTIRE LENGTH AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- THE NUMBER AND SPACING OF DRIVEWAYS FOR ALL INTERCONNECTED SITES WILL BE DETERMINED BY THE COMBINED FRONTAGE OF THE INTERCONNECTED PROPERTIES.
- ALL UTILITIES MUST BE IDENTIFIED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT PRIOR TO ANY CONSTRUCTION OF THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-343-0896 FOR ADDITIONAL INFORMATION.
- A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON PLANNING DEPARTMENT PRIOR TO ANY RECORDING OF THE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
- IF AN IRRIGATION SYSTEM IS PLANNED FOR THE SITE, UTILIZE MOISTURE SENSORS.
- ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' TO 40'-0'. PLANNING DEPARTMENT WILL CONSIDER INCORPORATING XERIC LANDSCAPING FOR ALL NEW LANDSCAPING.

OWNER/DEVELOPER
 NHHMC
 THOMAS WALSH, VP FACILITIES
 AND SUPPORT SERVICES
 PO BOX 9000
 WILMINGTON, NC 28402
 910 343-2788

CONSULTING ENGINEERS, P.C.
 1429 ASH-LITTLE RIVER
 ASH, NC 28420
 WILMINGTON, NC 28401
 PHONE (910) 343-9653
 LICENSE #C-3641

NORRIS & TUNSTALL
 15120
 DES. JST
 JPN NKS
 DRWN.
 DATE 2/10/16

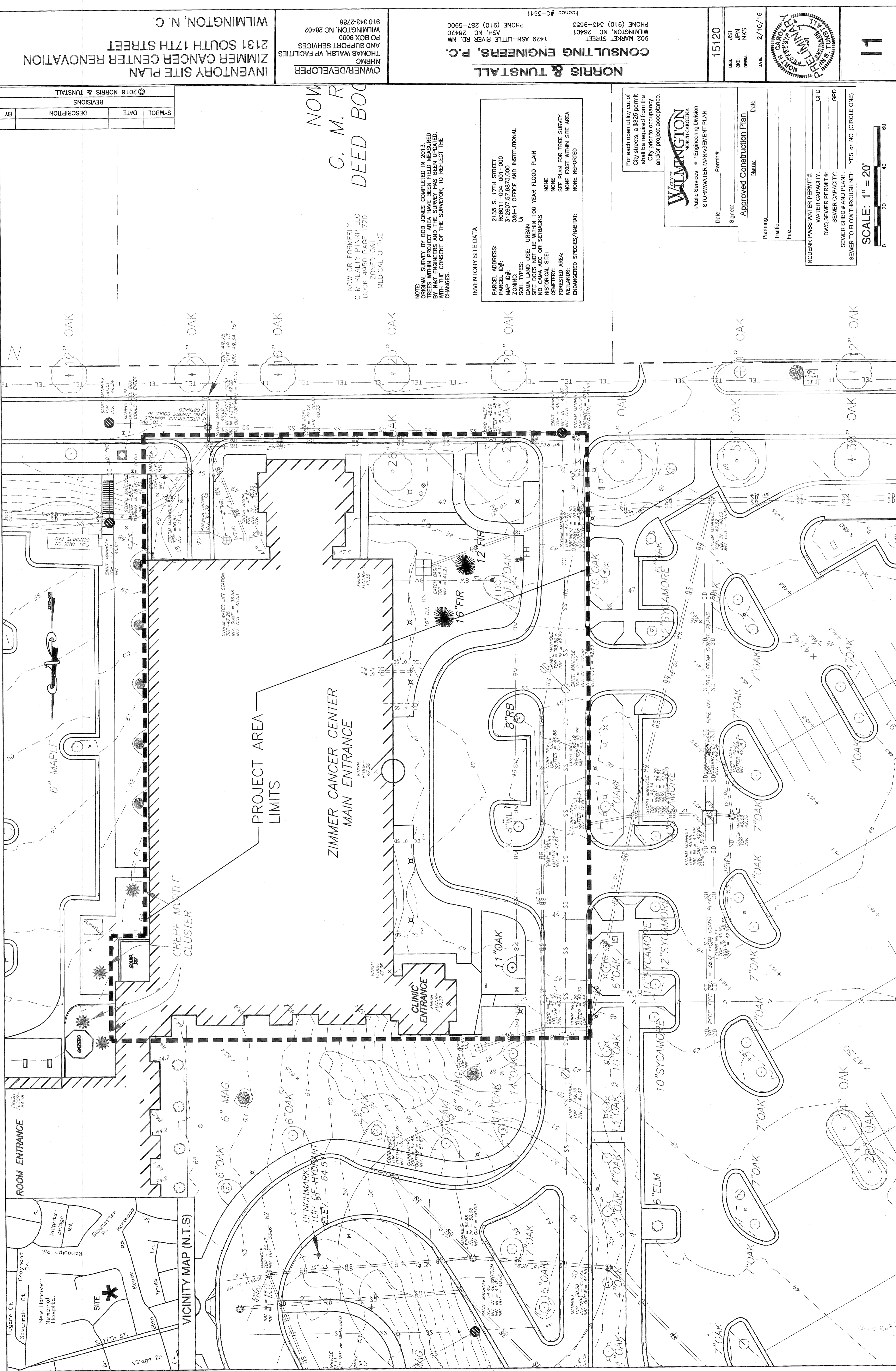
ZIMMER CANCER CENTER RENOVATION
 2131 SOUTH 17TH STREET
 WILMINGTON, N. C.

NOTES AND DETAILS

APPROVED CONSTRUCTION PLAN
 Name: _____
 Date: _____

SYMBOL	DATE	DESCRIPTION	BY

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SYMBOL	DATE	DESCRIPTION	BY

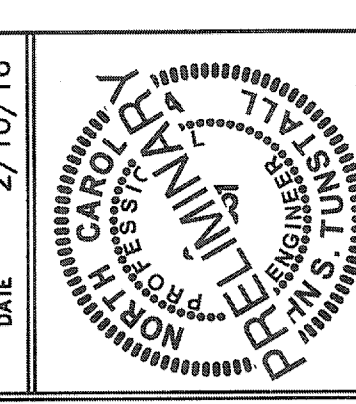
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REVISIONS

INVENTORY SITE PLAN
ZIMMER CANCER CENTER RENOVATION
WILMINGTON, N. C.

OWNER/DEVELOPER
NHRMC
THOMAS WAISH, VP FACILITIES
AND SUPPORT SERVICES
PO BOX 9000
WILMINGTON, NC 28402
910 343-2788

NORRIS & TUNSTALL
CONSULTING ENGINEERS, P.C.
1429 ASH-LITTLE RIVER RD., NW
ASH, NC 28420
PHONE (910) 287-5900
902 MARKET STREET
WILMINGTON, NC 28401
PHONE (910) 343-9653
license #C-3641

15120
DES. JUST
C.D. JRN
DRAW. NKS
DATE 2/10/16
DATE 2/10/16



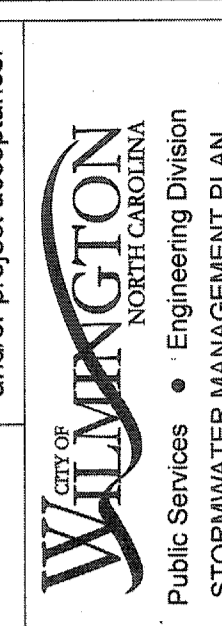
NOW
G. M. R.
DEED BOOK

NOW OR FORMERLY
G M REALTY P/NRP LLC
BOOK 4950 PAGE 1720
ZONED O&I
MEDICAL OFFICE

NOTE:
ORIGINAL SURVEY BY BOB JONES COMPLETED IN 2013.
TREES WITHIN PROJECT AREA HAVE BEEN FIELD MEASURED
BY N&T ENGINEERS AND THE SURVEY HAS BEEN UPDATED,
TO REFLECT THE CONSENT OF THE SURVEYOR, TO REFLECT THE
CHANGES.

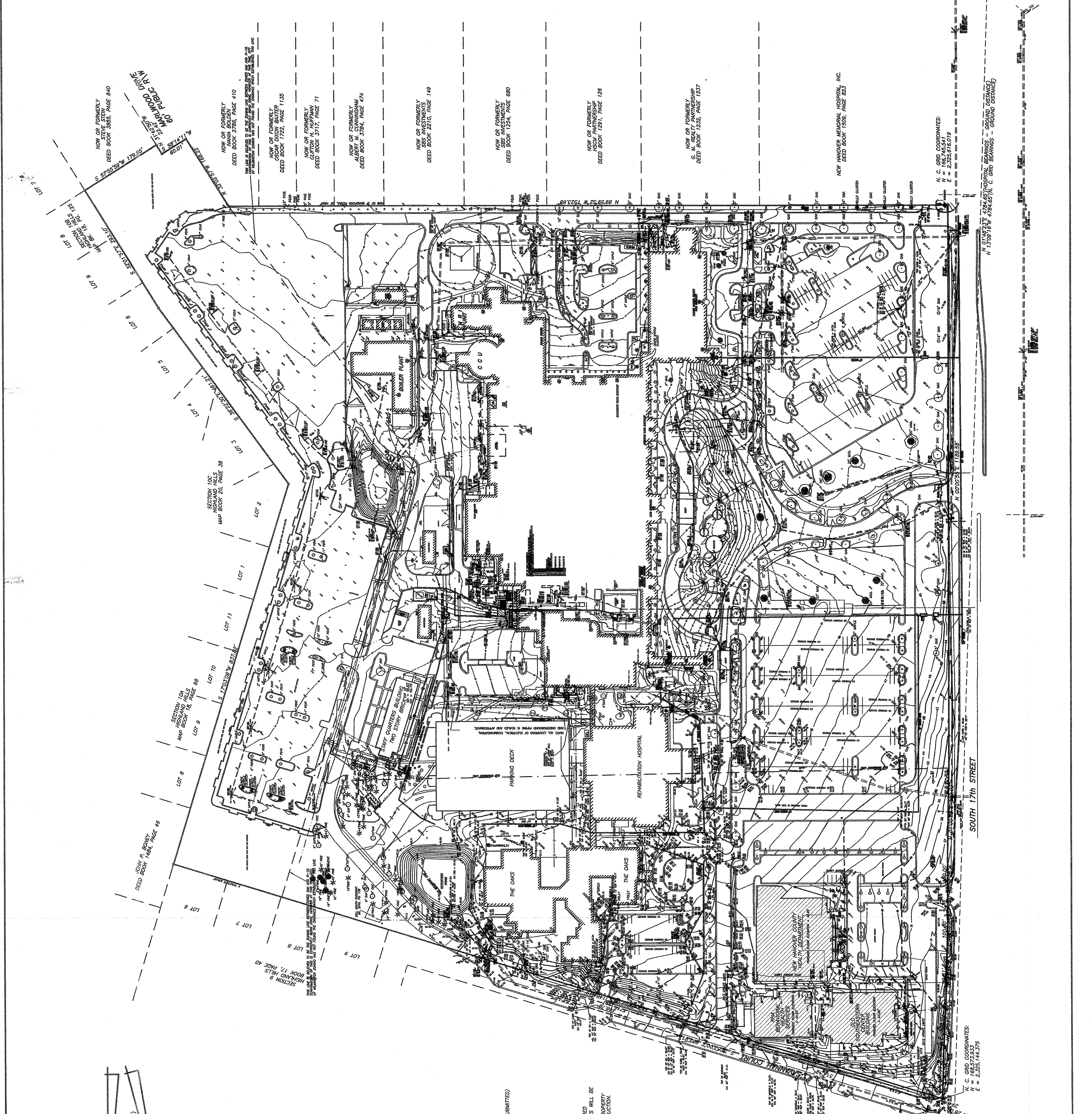
INVENTORY SITE DATA
PARCEL ADDRESS: 2135 S. 17TH STREET
PARCEL ID#: 308011 004 0000000
APPLICABLE ZONING: O&I-1 OFFICE AND INSTITUTIONAL
SOIL TYPES: URBAN
CAMA LAND USE: URBAN
SITE DOES NOT LIE WITHIN 100 YEAR FLOOD PLAIN
NO CAMA AEC OR SETBACKS
HISTORICAL SITE: NONE
FORESTED AREA: NONE
SEE PLAN FOR TREE SURVEY
WETLANDS: NONE EXIST WITHIN SITE AREA
ENDANGERED SPECIES/HABITAT: NONE REPORTED

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.



Date: _____ Permit # _____
Signed: _____
Approved Construction Plan.
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____
INCIDENT PWSS WATER PERMIT #: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

SCALE: 1" = 20'
0 20 40 60



- LEGEND:**
- CONCRETE MONUMENT
 - EX. IRON PIPE
 - STORM SEWER MANHOLE
 - SIGN
 - CATCH BASIN
 - SAWTOOTH SEWER MANHOLE
 - WATER METER
 - FIRE HYDRANT
 - FIRE DEPT. CONNECTION
 - WATER VALVE
 - POST INDICATOR VALVE
 - IRRIGATION VALVE
 - AREA LIGHT
 - ELEC. BOX
 - POWER POLE
 - TELEPHONE PEDASTAL
 - IRRIGATION WELL
 - SMALL OAK OR MAPLE
 - MAGNOLIA, CRABAPPLE OR HOLLY TREE
 - BIRCH TREE OR PEAR TREE
 - FR TREE
 - LARGE OAK TREE
 - LARGE PINE TREE
 - TREE FROM 1985 SURVEY SIZES NOT UPDATED
 - + 9' MAPLE

MAP OF SURVEY
NEW HANOVER REGIONAL MEDICAL CENTER
NEW HANOVER COUNTY HEALTH DEPARTMENT
FOR
NEW HANOVER COUNTY
 WASHINGTON TOWNSHIP - NEW HANOVER COUNTY - NORTH CAROLINA
 SCALE: 1 INCH = 100 FEET
 REVISED: AUGUST 18, 2005 TO ADD ACRES, BEARING, DISTANCE AND TREE SIZES
 REVISED: AUGUST 29, 2005 TO SHOW OLD BOUNDARY LINES
 REVISED: NOVEMBER 5, 2005 TO SHOW ADDITIONAL MANHOLES AND REVERSE INVERTS
 REVISED: JANUARY 13, 2006 TO SHOW ADDITIONAL UNDERGROUND UTILITIES AND STORM DRAINAGE ALONG 17th ST.
 REVISED: MARCH 19, 2008 TO SHOW ADDITIONAL UNDERGROUND UTILITIES AND STORM DRAINAGE ALONG 17th ST.
 REVISED: MARCH 19, 2008 TO SHOW ADDITIONAL UNDERGROUND UTILITIES AND STORM DRAINAGE ALONG 17th ST.
 REVISED: MAY 16, 2013 TO UPDATE BLOCKED AREA AT HEALTH DEPARTMENT (COVER SHEET & SHEET 1 ONLY REVISED AND RESUBMITTED)

NOTES:

1. THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE TAKEN FROM THE SURVEY DONE IN 1985. THEY SHOULD BE CONSIDERED APPROXIMATE LOCATIONS AND DEPTHS. NO REVISIONS TO THE 1985 SURVEY. THE UTILITIES WILL BE APPROXIMATE LOCATIONS AND DEPTHS. NO REVISIONS TO THE 1985 SURVEY. THE UTILITIES WILL BE APPROXIMATE LOCATIONS AND DEPTHS. NO REVISIONS TO THE 1985 SURVEY.
2. THE WATER LINES SHOWN IN THE 2013 UNDERGROUND UTILITY PLAN WERE DRAWN FROM THE NEW HANOVER COUNTY PROPERTY TO THE WEST OF THE KNOWLEDGE AND BELIEF.
3. BEARINGS ARE BASED ON THE 1985 SURVEY UNLESS OTHERWISE NOTED.
4. DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.

GRAPHIC SCALE - FEET
 SHEET 1 OF 7

UNPLOTTABLE BASEMENT:
 DEED BOOK 2817, PAGE 717

SURVEY REFERENCE:
 DEED BOOK 704, PAGE 479
 DEED BOOK 1114, PAGE 129

AREA:
 59.68 AC.±
 2,600,311 S.F.±

PROFESSIONAL SEAL:
 BOB M. JONES, JR.
 L-2977
 N.C. LICENSE NO. L-2977

PROFESSIONAL CERTIFICATE:
 I, BOB M. JONES, JR., PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THIS MAP WAS DRAWN BY ME FROM A COMBINATION OF SURVEYS DONE BY ME IN 1985, 2005, 2006 AND 2013, THAT THE ERROR OF CLOSURE IS 1:10,000, AND IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

N.C. GRID COORDINATES:
 N = 68,974,575
 E = 2,626,626,626
 N.C. GRID COORDINATES:
 N = 68,974,575
 E = 2,626,626,626